

*North Powerline Road
Community Development District*

Meeting Agenda

March 25, 2026

AGENDA

North Powerline Road Community Development District

219 E. Livingston St., Orlando, Florida 32801
Phone: 407-841-5524 – Fax: 407-839-1526

March 18, 2026

Board of Supervisors Meeting North Powerline Road Community Development District

Dear Board Members:

A Board of Supervisors Meeting of the **North Powerline Road Community Development District** will be held **Wednesday, March 25, 2026 at 10:00 AM** at the **Offices of PRIME Community Management, 375 Avenue A SE, Winter Haven, Florida 33880.**

Zoom Video Link: <https://us06web.zoom.us/j/83032630323>

Zoom Call-In Number: 1-646-876-9923

Meeting ID: 830 3263 0323

Following is the advance agenda for the meeting:

Board of Supervisors Meeting

1. Roll Call
2. Public Comment Period (Public Comments are limited to three (3) minutes each)
3. Approval of Minutes of the February 25, 2026 Board of Supervisors Meeting
4. Public Hearing
 - A. Public Hearing on the Adoption of Amended and Restated Rules Relating to Parking & Parking Enforcement
 - i. Presentation of Maps for Discussion Regarding Parking Policy Expansion
 - ii. Consideration of Resolution 2026-05 Adopting Amended and Restated Rules Relating to Parking & Parking Enforcement
 - iii. Presentation of Proposal for Parking Signage for Expansion Area
 - iv. Consideration of Towing Services Agreement with Bolton's Towing Service
5. Consideration of Resolution 2026-06 Directing Chairman and District Staff to File a Petition Amending District Boundaries
6. Consideration of Boundary Amendment Funding Agreement
7. Staff Reports
 - A. Attorney
 - B. Engineer
 - C. Field Manager's Report
 - D. District Manager's Report
 - i. Approval of Check Register
 - ii. Balance Sheet & Income Statement
8. Other Business
9. Supervisors Requests and Audience Comments
10. Adjournment

MINUTES

**MINUTES OF MEETING
NORTH POWERLINE ROAD
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the North Powerline Road Community Development District was held on **Wednesday, February 25, 2026**, at 10:04 a.m. at the Offices of PRIME Community Management, 375 Avenue A SE, Winter Haven, Florida.

Present and constituting a quorum:

Bobbie Shockley	Chairperson
Alexis Diaz <i>by Zoom</i>	Vice Chairperson
Jessica Spencer	Assistant Secretary
Lindsey Roden	Assistant Secretary

Also present were:

Jill Burns	District Manager, GMS
Meredith Hammock	District Counsel, Kilinski Van Wyk
Mitchel Zwang <i>by Zoom</i>	District Counsel, Kilinski Van Wyk
Marshall Tindall	Field Manager, GMS

The following is a summary of the discussions and actions taken at the February 25, 2026, North Powerline Road Community Development District's Regular Board of Supervisor's Meeting.

FIRST ORDER OF BUSINESS

Roll Call

Ms. Burns called the meeting to order at 10:04 a.m. and called the roll. Three Supervisors were present in person constituting a quorum, with One Supervisor attending via Zoom.

SECOND ORDER OF BUSINESS

Public Comment Period (*Public Comments are limited to (3) minutes each*)

Ms. Burns opened the public comment period. There were no members of public present at the meeting. There being no comments, the public comment period was closed.

THIRD ORDER OF BUSINESS

**Approval of Minutes of the January 28, 2026
Board of Supervisors Meeting**

Ms. Burns presented the minutes of the January 28, 2026 Board of Supervisors meeting and asked for any comments, corrections, or changes. There were no comments or corrections.

On MOTION by Ms. Shockley, seconded by Ms. Spencer, with all in favor, the Minutes of the January 28, 2026, Board of Supervisors Meeting, were approved.

FOURTH ORDER OF BUSINESS

Consideration of Resolution 2026-04 Adopting Amended Policies (Adding Playground Policies & Updating Pool Policies)

Ms. Burns stated the Board is updating its amenity policies by introducing new playground rules and revising the pool regulations. These changes include adding standard playground policies that were previously missing and clarifying various points within the pool policies to better align with practices used in other Districts.

On MOTION by Ms. Shockley, seconded by Ms. Roden, with all in favor, Resolution 2026-04 Adopting Amended Policies (Adding Playground Policies & Updating Pool Policies), was approved.

FIFTH ORDER OF BUSINESS

Presentation of Arbitrage Rebate Report for Series 2020 Bonds

Ms. Burns presented the Board with the Arbitrage Rebate Report. She noted that the District must prove to the IRS that it does not earn more interest than it pays on its bonds. The latest independent report shows a negative arbitrage amount.

On MOTION by Ms. Roden, seconded by Ms. Shockley, with all in favor, Accepting the Arbitrage Rebate Report for Series 2020 Bonds, was approved.

SIXTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Ms. Hammock had nothing to report but offered to answer any questions. There being no questions, the next item followed.

B. Engineer

There being no comments, the next item followed.

C. Field Manager’s Report

Mr. Tindall reviewed the Field Manager’s report. He noted that pond levels remain low, with some supplemental cleaning due to accumulated trash, likely from a dry season and debris in drains. A water supply line for the lift was damaged but promptly repaired. Proposals for well lines and entry benches are included, aiming to reduce trampling and damage around the entrance area. Routine site maintenance continue, with minimal mowing and ongoing plant assessments to avoid premature trimming after recent cold snaps. Minor repairs, such as fence fixes and installation of approved dog stations, are underway. Frost damage and algal blooms in ponds have been addressed.

i. Consideration of Proposal for Main Entry Benches

Mr. Tindall reviewed the proposal for main entry benches. He stated that the recently installed fences passed permit inspections, and entry benches are proposed to discourage visitors from damaging plants and lights near the entrance sign. He noted the cost was \$2,506.64 installed.

On MOTION by Ms. Roden, seconded by Ms. Shockley, with all in favor, the Proposal for Main Entry Benches, was approved.

ii. Consideration of Proposal for Entry Column Up-Lights

Mr. Tindall presented proposal for entry column lights. He stated that they were contemplating replacing existing lights, which are mounted on posts and frequently vandalized, with ground-level well lights. These new lights would be installed flush with the ground, use low voltage, and be connected to existing low voltage transformers. The hope is that well lights will be less prone to damage and vandalism compared to the current fixtures.

On MOTION by Ms. Roden, seconded by Ms. Shockley, with all in favor, the Proposal for Entry Column Up-Lights, was approved.

SECTION IV

SECTION A

SECTION 1

NORTH POWERLINE RD CDD

PHASE 3 - Street Parking Map
Revised 3/23/2026

MAP FOR DISCUSSION PURPOSES

Street Parking Allowed

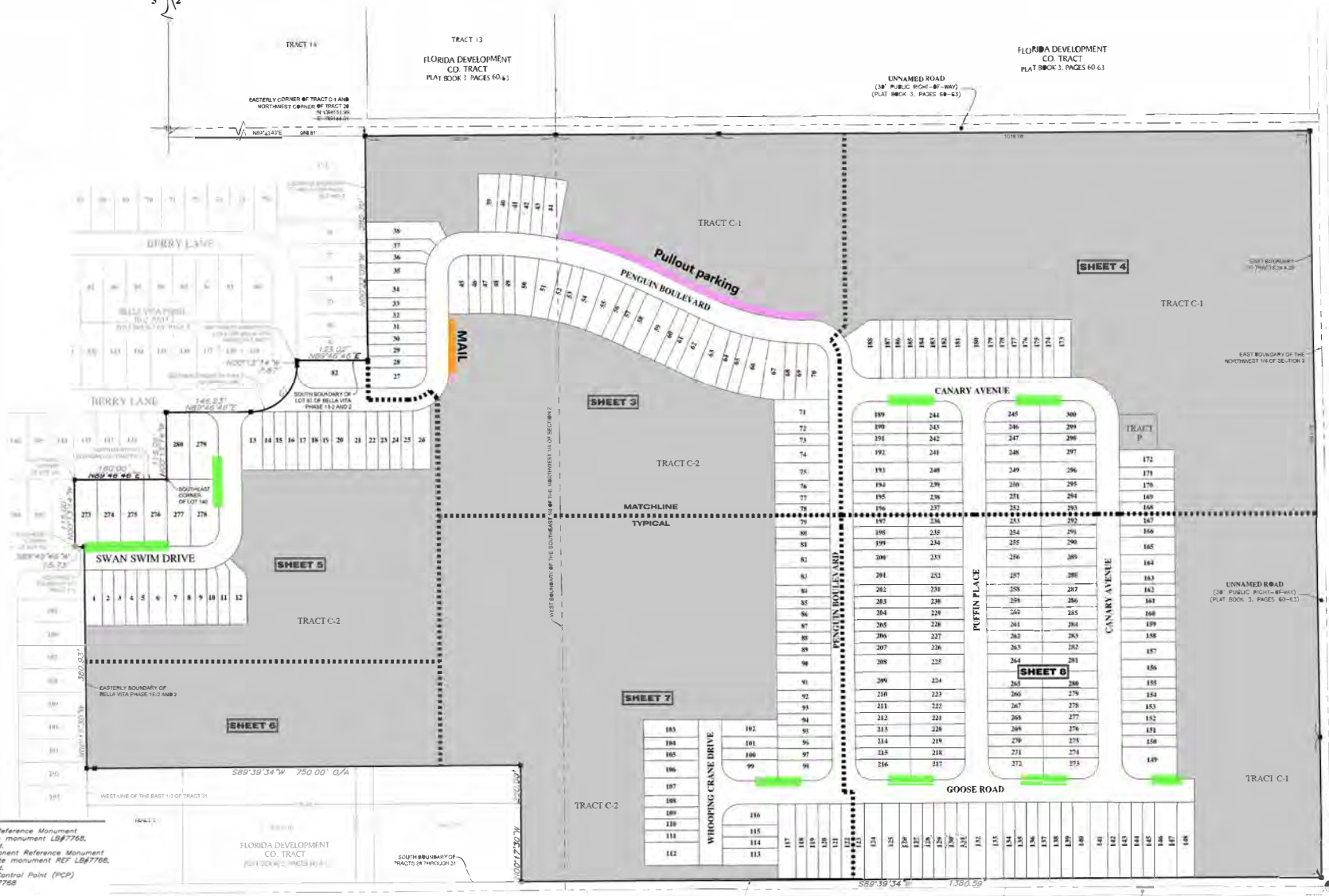
5 minute only mailbox parking

No Overnight Parking

Pullout parking area

BELLA VITA PHASE 3

PLAT BOOK 1987 PAGE 2
SHEET 3 OF 8 SHEETS



LEGEND:

- = Indicates Permanent Reference Monument (PRM) 4" x 4" Concrete monument LB#7766, unless otherwise noted.
- = Indicates Offset Permanent Reference Monument (PRM) 4" x 4" Concrete monument REF LB#7766, unless otherwise noted.
- = Indicates Permanent Control Point (PCP) Mag Nail & Disk LB#7768
- PVT = Private
- O.R.B. = Official Records Book
- PG. = Page
- (NR) = Non-Radial Line
- (R) = Radial Line
- LB# = Licensed Business Number
- HOA = Home Owners Association
- P.S.M. = Professional Surveyor and Mapper
- P.L.S. = Professional Land Surveyor
- O.A. = Over All
- P.U.E. = Private Utility Easement
- P.D.E. = Private Drainage Easement
- P.D.W.E. = Private Drainage and Wall Easement
- CCR = Certified Corner Record
- TYP. = Typical
- CO. = Company

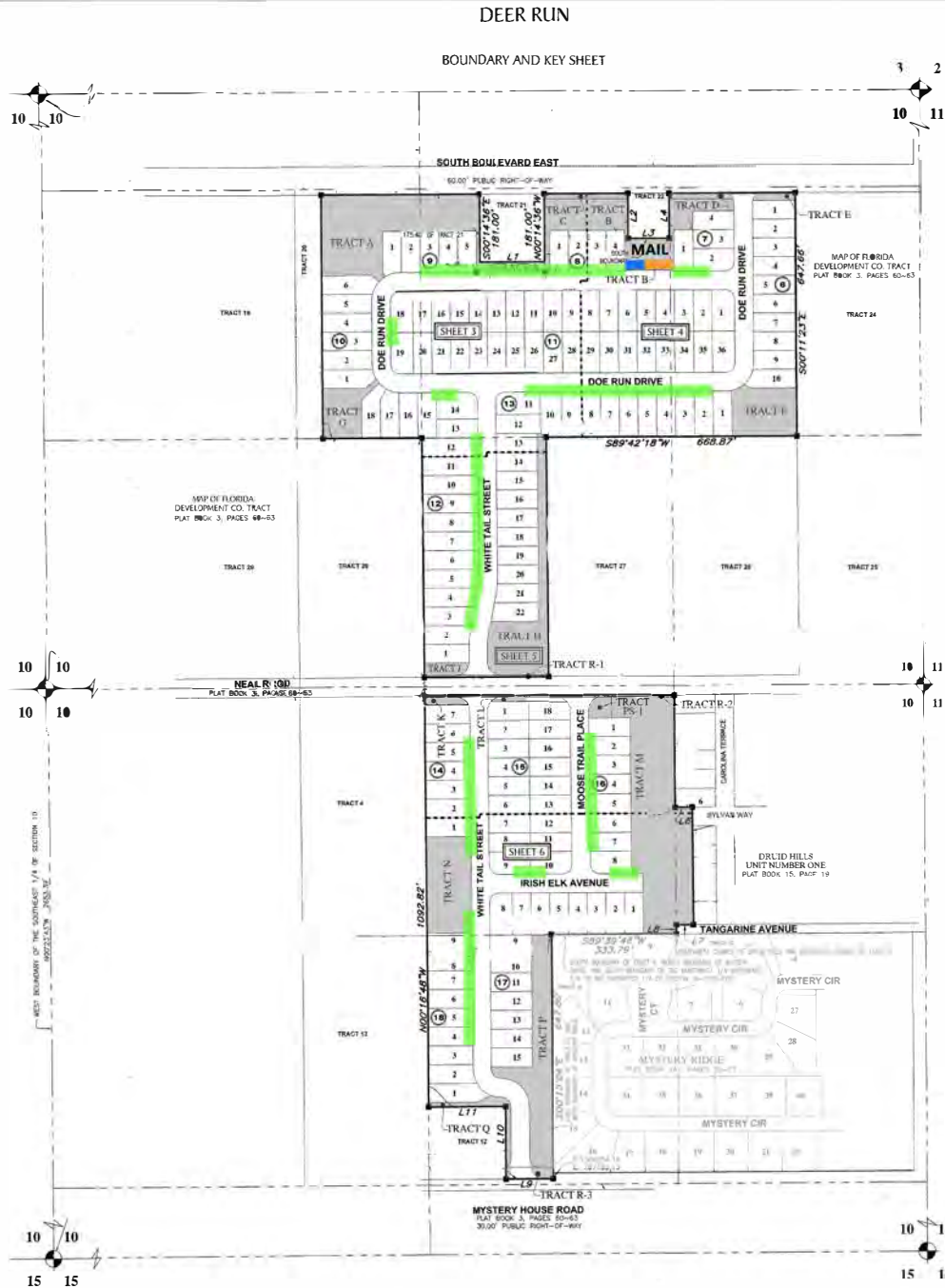
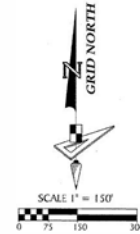
GeoPoint Surveying, Inc.
213 Hubbard Street
Tampa, Florida 33619
www.geopointsurvey.com
Phone: (813) 248-6886
Fax: (813) 248-2799
Licenses: License Number CE 1794

Street Parking Allowed

5 minute only mailbox parking

No Overnight Parking

PLAT BOOK 199 PAGE 38 SHEET 2 OF 6 SHEETS



NOTICE: THIS PLAT AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

LEGEND

- Legend items: Set Permanent Reference Monument (PRM), Found 4"x4" Concrete monument as noted, Set Permanent Control Point (PCP), Licensed Business Number (LB), Home Owners Association (HOA), Professional Surveyor and Mapper (PSM), Professional Land Surveyor (PLS), Township (T), Range (R), Over All (O/A), Private Utility Easement (P.U.E.), Private Fence Easement (P.F.E.), Private Easement (P.E.), Private Wall and Drainage Easement (P.W.D.E.), Private Landscape and Fence Easement (P.L.F.E.), Official Records Book (O.R.B.), Certified Corner Record (C.C.R.), Typical (TYP), Non-Radial Line (NR), Company (CO), Block Number (1)

SECTION 2

RESOLUTION 2026-05

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT ADOPTING AMENDED AND RESTATED RULES RELATING TO PARKING AND PARKING ENFORCEMENT; AND PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the North Powerline Road Community Development District (the “**District**”) is a local unit of special-purpose government created and existing pursuant to Chapter 190, Florida Statutes, being situated within Polk County, Florida; and

WHEREAS, Chapter 190, Florida Statutes, authorizes the District to adopt resolutions as may be necessary for the conduct of District business; and

WHEREAS, the Board of Supervisors of the District (the “**Board**”) is authorized by Sections 190.011(5) and 190.035, *Florida Statutes*, to adopt rules, orders, policies, rates, fees and charges pursuant to Chapter 120, Florida Statutes; and

WHEREAS, the District desires to adopt *Amended and Restated Rules Relating to Parking and Parking Enforcement* for Phase 3 of the District (the “**Policy**”), attached hereto as **Exhibit A** and incorporated herein, pursuant to the provisions of Sections 190.011(5) and 190.035 and Chapter 120, Florida Statutes; and

WHEREAS, the District has properly noticed for rule development and rulemaking regarding the Policy and a public hearing was held at a meeting of the Board on March 25, 2026; and

WHEREAS, the Board finds that it is in the best interests of the District to adopt by resolution the Policy for immediate use and application.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The recitals stated above are true and correct and by this reference are incorporated herein.

SECTION 2. The District hereby adopts the Policy, attached hereto as **Exhibit A**.

SECTION 3. If any provision of this Resolution or the Policy is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 4. This Resolution shall become effective upon its passage and shall remain in effect unless rescinded or repealed.

[Continue onto next page]

PASSED AND ADOPTED this 25th day of March 2026.

ATTEST:

**NORTH POWERLINE ROAD
COMMUNITY DEVELOPMENT
DISTRICT**

Secretary/Assistant Secretary

Chairperson, Board of Supervisors

Exhibit A: Amended and Restated Rules Relating to Parking and Parking Enforcement

Exhibit A

Amended and Restated Rules Relating to Parking and Parking Enforcement

[Begins on following page.]

NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT
AMENDED AND RESTATED RULES RELATING TO PARKING AND PARKING ENFORCEMENT

In accordance with Chapter 190, Florida Statutes, and on March 25, 2026 at a duly noticed public meeting, the Board of Supervisors (“Board”) of the North Powerline Road Community Development District (“District”) adopted the following policy to govern parking and parking enforcement on certain District property (“Policy”). This Policy repeals and supersedes all prior rules and/or policies governing the same subject matter.

SECTION 1. INTRODUCTION. The District finds that Parked Oversized Vehicles, Vehicles, Vessels and Recreational Vehicles (hereinafter defined) on certain of its property cause hazards and danger to the health, safety and welfare of District residents, paid users and the public. This Policy is intended to provide the District’s residents and paid users with a means to remove such Oversized Vehicles, Vehicles, Vessels and Recreational Vehicles from areas that are not designated for Parking.

SECTION 2. DEFINITIONS.

- A.** *Designated Parking Areas.* Areas which have been explicitly approved for Parking by the District, including areas indicated by asphalt markings and areas designated on the map attached hereto as **Exhibit A** and indicated by signage.

- B.** *Vehicle.* Any mobile item which normally uses wheels, whether motorized or not. This term shall include, but shall not be limited to, Oversized Vehicles, Recreational Vehicles, and Abandoned/Broken-Down Vehicles.
 - a.** *Oversized Vehicle.* As used herein, “Oversized Vehicle” shall mean the following:
 - i.** Any Vehicle or Vessel heavier or larger in size than a one-ton, dual rear wheel pick-up truck;
 - ii.** Motor Vehicles with a trailer attached;
 - iii.** Motor coaches/homes;
 - iv.** Travel trailers, camping trailers, park trailers, fifth-wheel trailers, semi-trailers, or any other kind of trailer;
 - v.** Mobile homes or manufactured homes.

 - b.** *Abandoned/Broken-Down Vehicle.* A vehicle that has no license plate, has expired registration, is visibly not operational, or has not moved for a period of seven (7) days.

 - c.** *Recreational Vehicle.* A vehicle designed for recreational use, which includes motor homes, campers and trailers relative to same.

- C.** *Vessel.* Every description of watercraft, barge, or airboat used or capable of being used as a means of transportation on water.

- D.** *Park(ed)/(ing).* A Vehicle, Vessel or Recreational Vehicle left unattended by its owner or user.

- E. *Tow-Away Zone.* District property in which Parking is prohibited and in which the District is authorized to initiate a towing and/or removal action. **Any District property not designated as a Designated Parking Area is a Tow-Away Zone.**
- F. *Overnight.* Between the hours of 10:00 p.m. and 6:00 a.m. daily.
- G. *Mailbox Parking.* Spots designated for mail pick up.

SECTION 3. DESIGNATED PARKING AREAS. Parking is permitted only in Designated Parking Areas, as indicated by asphalt markings for Parking spaces and as indicated on the map attached hereto as **Exhibit A** for certain on-street Parking areas. On-street Parking is expressly prohibited on District roadways except where indicated. **Any Vehicle Parked on District property, including District roads, if any, must do so in compliance with all laws, ordinances, and codes, and shall not block access to driveways and property entrances.**

SECTION 4. ESTABLISHMENT OF TOW-AWAY ZONES. All District property which is not explicitly designated for Parking shall hereby be established as “Tow-Away Zones” for all Vehicles, including Oversized Vehicles, Vessels, Recreational Vehicles as set forth in Section 6 herein (“**Tow-Away Zone**”).

SECTION 5. OVERNIGHT PARKING. Overnight Parking in the Designated Parking Areas is only permitted on Friday, Saturday, and Sunday nights. Any Vehicle Parked in the Designated Parking Areas Overnight on Monday, Tuesday, Wednesday, or Thursday shall be subject to towing at the Owner’s expense.

SECTION 6. EXCEPTIONS.

- A. **ON-STREET PARKING EXCEPTIONS.** Oversized Vehicles, Recreational Vehicles, and Vessels are not permitted to be Parked on-street Overnight and shall be subject to towing at Owner’s expense.
- B. **ABANDONED/BROKEN-DOWN VEHICLES.** Abandoned and/or broken-down Vehicles are not permitted to be Parked on District property at any time and are subject to towing at the Owner’s expense.
- C. **PARKING DURING AMENITY HOURS.** Vehicles may Park in the Designated Parking Areas of amenity facilities depicted in **Exhibit A** during the open hours of operations of such amenity facilities, including any District-authorized special events occurring outside of regular hours of operation. Otherwise, no Overnight Parking is permitted at the amenity facilities except as permitted in accordance with Section 5.
- D. **VENDORS/CONTRACTORS.** The District Manager or his/her designee may authorize vendors/consultants in writing to Park company vehicles in order to facilitate District business. All vehicles so authorized must be identified by a Parking pass issued by the District.
- E. **DELIVERY VEHICLES AND GOVERNMENTAL VEHICLES.** Delivery vehicles, including but not limited to, U.S.P.S., U.P.S., Fed Ex, moving company vehicles, and lawn maintenance vendors may Park on District property while actively engaged in the operation

of such businesses. Vehicles owned and operated by any governmental unit may also Park on District property while carrying out official duties.

- F. MANNER OF PARKING.** Vehicles and Vessels of any kind may not be Parked such that they utilize additional spaces, block access to District property, prevent the safe and orderly flow of traffic, obstruct the ability of emergency vehicles to access roadways or property, cause damage to the District's property, restrict the normal operation of the District's business, or otherwise poses a danger to the District, its residents and guests, the general public, or the property of same. All Parking must comply with all state and local laws and ordinances.
- G. MAILBOX PARKING.** Mailbox Parking is limited to five (5) minutes. Any Vehicles Parked in the Mailbox Parking area for extended periods of time, including Overnight, shall be subject to towing at Owner's expense.

SECTION 7. TOWING/REMOVAL PROCEDURES.

- A. SIGNAGE AND LANGUAGE REQUIREMENTS.** Notice of the Tow-Away Zones shall be approved by the District's Board and shall be posted on District property in the manner set forth in Section 715.07, *Florida Statutes*. Such signage is to be placed in conspicuous locations, in accordance with Section 715.07, *Florida Statutes*.
- B. TOWING/REMOVAL AUTHORITY.** To effect towing/removal of an Oversized Vehicle, Vehicle, Vessel or Recreational Vehicle, the District Manager or his/her designee must verify that the subject Oversized Vehicle, Vehicle, Vessel or Recreational Vehicle was not authorized to Park under this rule and then must contact a firm authorized by Florida law to tow/remove Oversized Vehicle, Vehicles, Vessels and Recreational Vehicles for the removal of such unauthorized Vehicle at the Owner's expense. The Oversized Vehicle, Vehicle, Vessel or Recreational Vehicle shall be towed/removed by the firm in accordance with Florida law, specifically the provisions set forth in Section 715.07, *Florida Statutes*. Notwithstanding the foregoing, a towing service retained by the District may tow/remove any Vehicle Parked in a Tow-Away Zone.
- C. AGREEMENT WITH AUTHORIZED TOWING SERVICE.** The District's Board is hereby authorized to enter into and maintain an agreement with a firm authorized by Florida law to tow/remove unauthorized vehicles and in accordance with Florida law and with the policies set forth herein.

SECTION 8. PARKING AT YOUR OWN RISK. Vehicles, Vessels or Recreational Vehicles may be Parked on District property pursuant to this rule, provided however that the District assumes no liability for any theft, vandalism and/or damage that might occur to personal property and/or to such vehicles.

SECTION 9. AMENDMENTS; DESIGNATION OF ADDITIONAL TOW-AWAY ZONES OR DESIGNATED PARKING AREAS. The Board in its sole discretion may amend these Rules Related to Parking and Parking Enforcement from time to time to designate new Tow-Away Zones or Designated Parking Areas as the District acquires additional common areas. Such designations of new Tow-Away Zones and Designated Parking Areas are subject to proper signage and notice prior to enforcement of these rules in such areas.

EXHIBIT A – *Designated Parking Areas (highlighted areas)*
Effective date: March 25, 2026

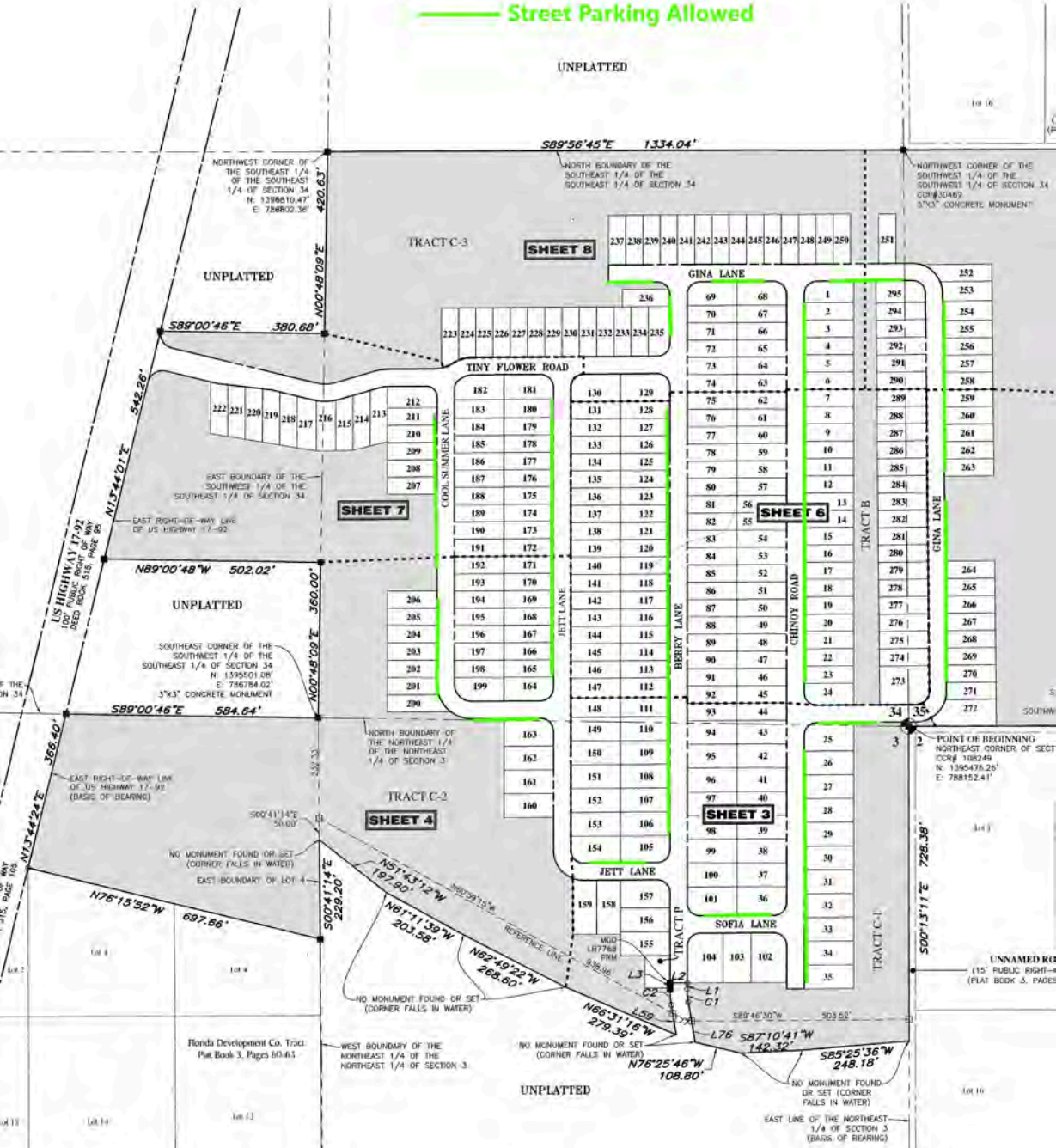
EXHIBIT A
Designated Parking Areas

North Powerline Road CDD

Phase 1 - Street Parking Map

Revised 2/26/2025

Street Parking Allowed



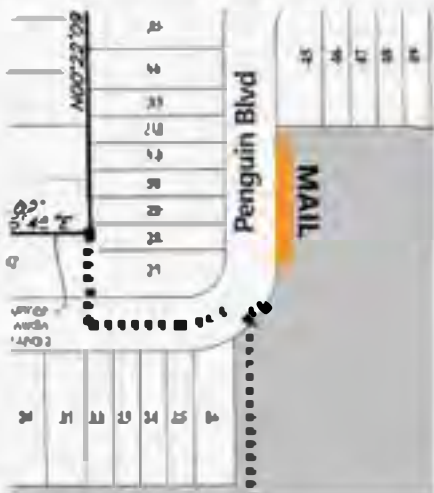
North Powerline Rd CDD

-  5 Minute parking only for Mailboxes
-  Amenity No Overnight Parking

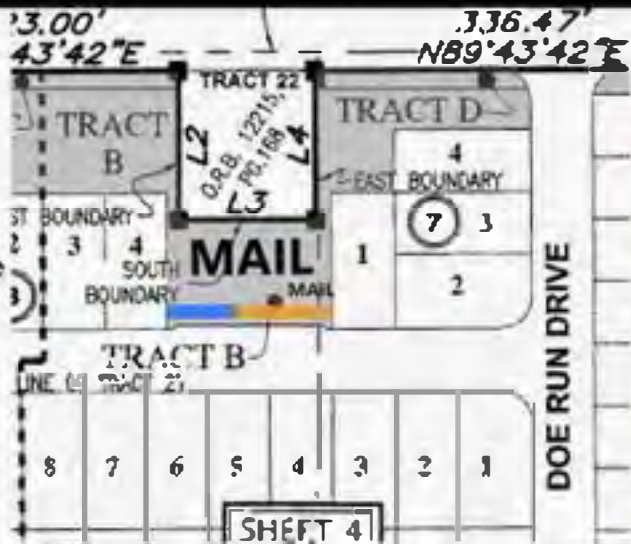
Phase 1A.1B



Phase 3



Phase 4



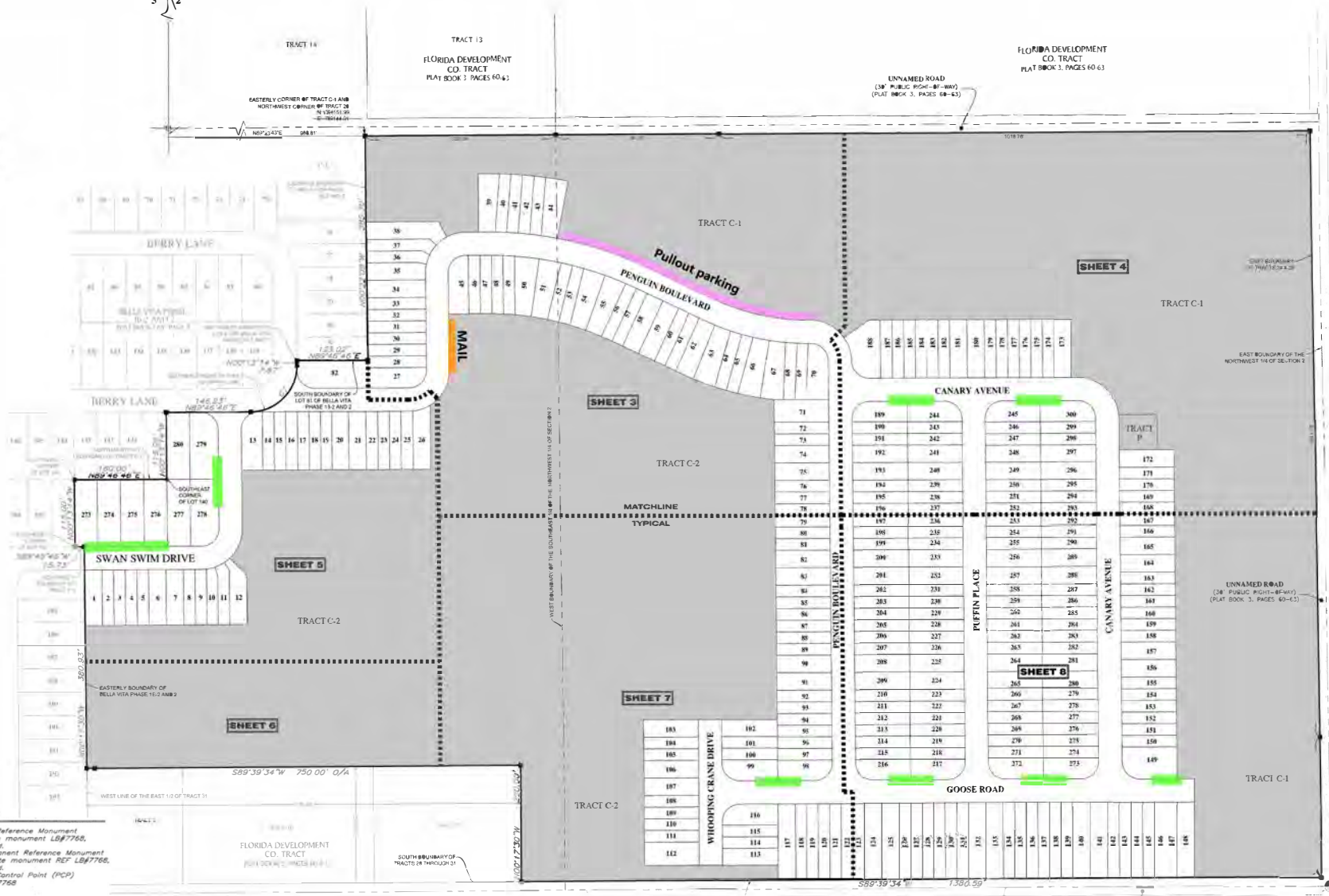
Street Parking Allowed

5 minute only mailbox parking

No Overnight Parking

Pullout parking area

BELLA VITA PHASE 3



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- P.L.S. = Professional Land Surveyor
- O.A. = Over All
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- P.D.E. = Private Drainage Easement
- P.D.W.E. = Private Drainage and Wall Easement
- C.C.R. = Certified Corner Record
- T.Y.S. = Typical
- C.O. = Company

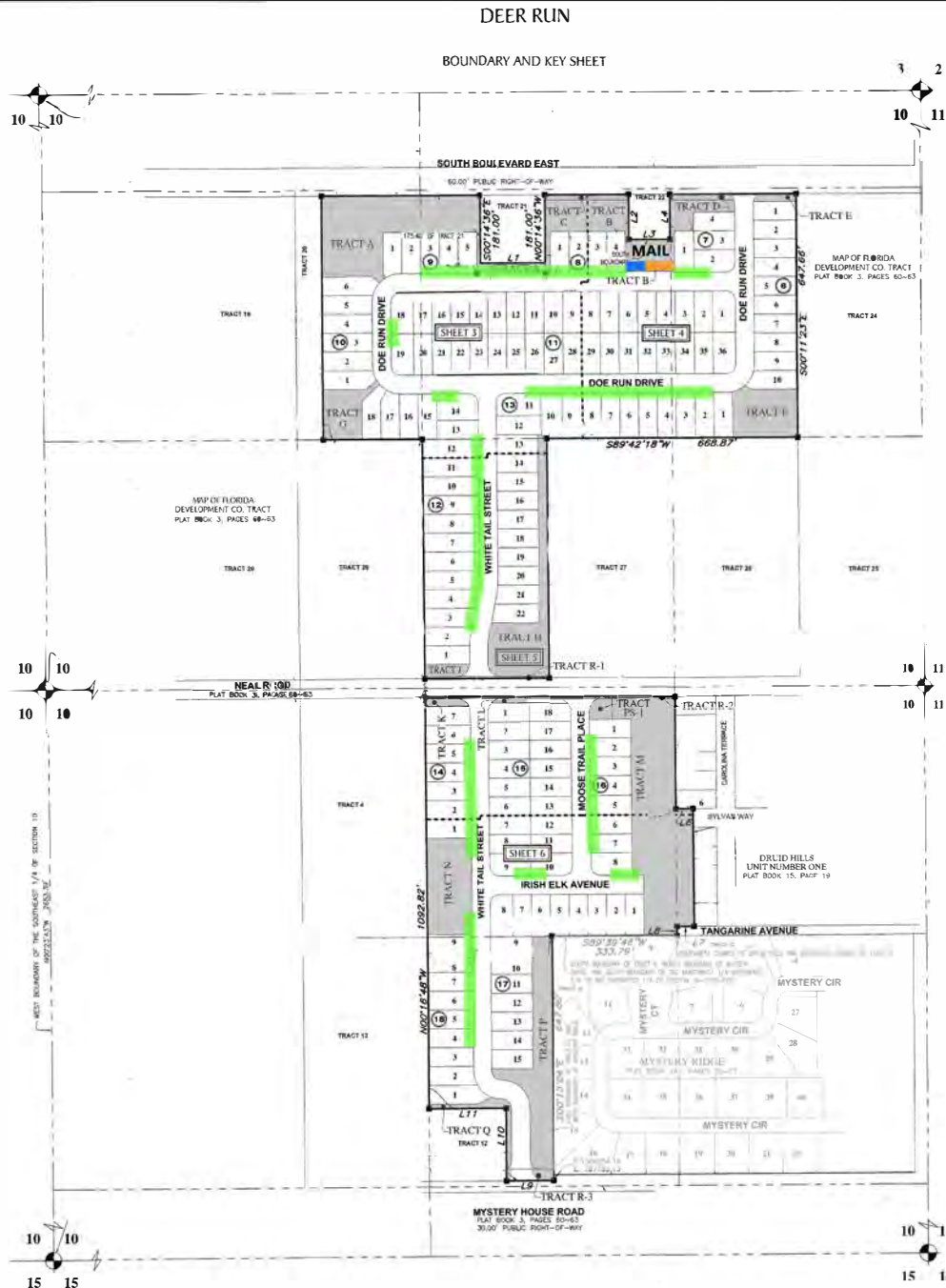
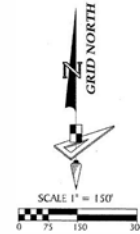
GeoPoint Surveying, Inc.
 213 Hubbard Street
 Tampa, Florida 33619
 Phone: (813) 248-6888
 Fax: (813) 248-2799
 www.geopointsurvey.com
 Licensee Business Number 08793

Street Parking Allowed

5 minute only mailbox parking

No Overnight Parking

PLAT BOOK 199 PAGE 38 SHEET 2 OF 6 SHEETS



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LEGEND

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Book 199/Page 38 CFNH#2023132588 Page 3 of 7

GeoPoint Surveying, Inc. 215 Habbes Street Tampa, Florida 33619 www.geo-point.com

SECTION 3

Proposal #520



Governmental Management Services

Maintenance
Services

Bill To/District: North Powerline Road CDD	Prepared By: Governmental Management Services, LLC 219 E. Livingston Street Orlando, FL 32801
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Job name and Description

North Powerline Road CDD – Parking Plan Signs for Phases 3 & 4

- Proposal is for delivery and installation of:
- Qty 36 12x18” Parking Allowed arrow sign.
- Qty 4 Parking Policy signs
- Includes 40 new posts.

Qty	Description	Unit Price	Line Total
	Labor		\$2,420.00
	Mobilization		\$195.00
	Equipment		\$270.00
	Materials		\$5,762.18
Total Due:			\$8,647.18

North Powerline Road CDD – Optional

- Delivery and installation of Qty 02, Pullout Parking signs and posts for phase 3 area.
- Completed at same time as other parking signs
- Additional \$360.00

Total Due:
(If option included)

\$9,007.18

This Proposal is Valid for 30 days.

Option Approved: Yes No

Client Signature: _____

NORTH POWERLINE RD CDD
PHASE 3 - Street Parking Map
 Revised 9/24/2025

NEW Parking signs (x16)
Optional Pullout Parking signs (x2)

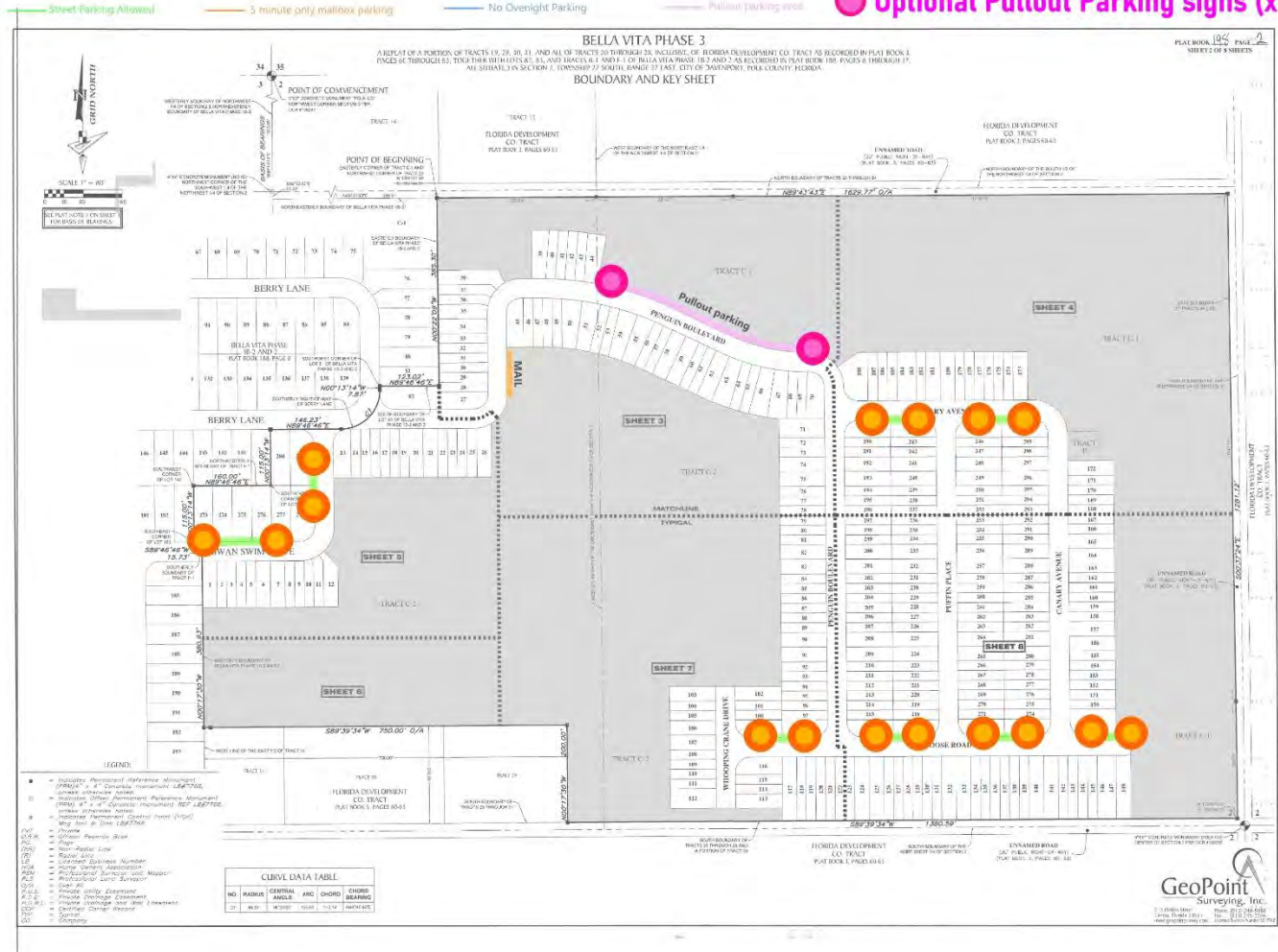
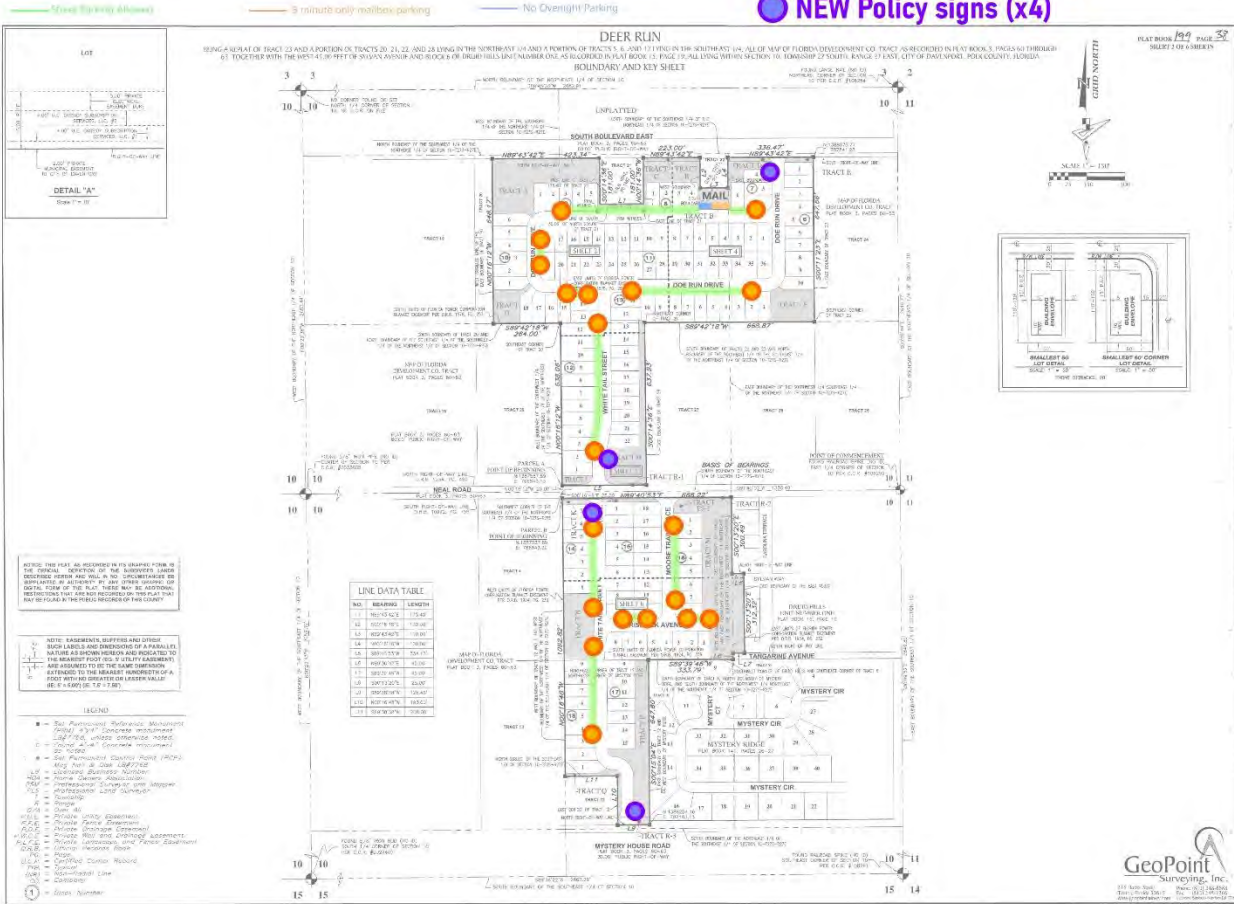


Exhibit A

Page 3 of 3
 CPW02025045746

NORTH POWERLINE RD CDD
PHASE 4- Street Parking Map

NEW Parking signs (x20)
NEW Policy signs (x4)



SECTION 4

TOWING SERVICES AGREEMENT

THIS AGREEMENT (“Agreement”) is made and entered into this ____ day of March 2026 by and between:

NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT, a local unit of special purpose government established pursuant to Chapter 190, Florida Statutes, with a mailing address of c/o Governmental Management Services – Central Florida, LLC, 219 East Livingston Street, Orlando, Florida 32801 (“**District**”); and

BOLTON’S TOWING SERVICES, INC., a Florida corporation with a principal address of 2690 Avenue E, SW, Winter Haven, Florida 33880 (“**Contractor**”).

RECITALS

WHEREAS, the District is a local unit of special-purpose government established for the purpose of financing, acquiring, constructing, operating and/or maintaining public infrastructure improvements; and

WHEREAS, the District has adopted *Amended and Restated Rules Relating to Parking and Parking Enforcement*, a copy of which is attached hereto as **Exhibit A**, and as may be amended from time to time by the Board of Supervisors (“**Board**”) of the District (“**Parking Rules**”); and

WHEREAS, in accordance with Section 715.07, *Florida Statutes*, the District desires to engage an independent contractor to provide vehicle towing/removal services within the District in accordance with the Parking Rules (“**Services**”); and

WHEREAS, Contractor desires to provide such Services for the District in accordance with Section 715.07, *Florida Statutes*, and other Florida law; and

WHEREAS, Contractor and the District accordingly desire to enter into this Agreement to provide for the rights, duties and obligations of the parties relative to same.

NOW, THEREFORE, in consideration of the recitals, agreements, and mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the parties, the parties agree as follows:

SECTION 1. RECITALS. The recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Agreement.

SECTION 2. DESCRIPTION OF WORK AND SERVICES. The District hereby authorizes Contractor, and its employees and agents, to perform drive-by inspections and vehicle-towing/removal Services from the District property identified in **Exhibit A**. Contractor is also authorized to perform such Services when requested to do so by the District’s designated representatives, who shall be the District Manager (Jillian Burns of Government Management Services – Central Florida, LLC), or her designee (“**District Representatives**”). All such Services shall be performed only at the times specified in the Parking Rules. Contractor shall also provide vehicle storage relative to any such vehicles towed from District property, all in accordance with the Parking Rules, Section 715.07, *Florida Statutes*, and any other applicable Florida law.

- A. Upon execution of this Agreement, Contractor shall, at its own cost and expense, procure and install the necessary signage as required by Section 715.07, *Florida Statutes*, which signage shall be installed a minimum of twenty-four (24) hours prior to commencement of any towing/removal Services by Contractor.
- B. Upon towing/removal of a vehicle, such vehicle shall be stored by Contractor within a ten (10)-mile radius of the point of the removal and shall provide for public access to such storage facility as set forth in Section 715.07, *Florida Statutes*.
- C. This Agreement grants to Contractor the right to enter the lands that are subject to this Agreement, for those purposes described in this Agreement, and Contractor hereby agrees to comply with all applicable laws, rules, ordinances and regulations affecting the provision of the Services. Any damage caused by Contractor shall diligently be repaired and shall be at Contractor's sole cost and expense.

SECTION 3. COMPENSATION. Contractor acknowledges and agrees that it is not receiving compensation from the District for the provision of the Services. Any compensation due and owing to Contractor relative to this Agreement shall be remitted by the owner(s) of the towed/removed vehicles.

SECTION 4. EFFECTIVE DATE; TERM. This Agreement shall become effective on the date first written above and shall remain in effect unless terminated with written notice to the other party.

SECTION 5. INSURANCE.

- A. Contractor shall, at its own expense, maintain insurance during the performance of the Services under this Agreement, with limits of liability not less than the following:
 - i. Workers' Compensation Insurance in accordance with the laws of the State of Florida.
 - ii. Commercial General Liability Insurance, including, but not limited to, bodily injury (including contractual), property damage (including contractual), products and completed operations, and personal injury with limits of not less than One Million Dollars and No Cents (\$1,000,000.00) per occurrence, and not less than Two Million Dollars and No Cents (\$2,000,000.00) aggregate covering all work performed under this Agreement, and covering at least the following hazards:
 - 1. Independent Contractors Coverage for bodily injury and property damage in connection with any subcontractor's operation, if any.
 - iii. Automobile Liability Insurance for bodily injuries in limits of not less than One Million Dollars and No Cents (\$1,000,000.00) combined single limit bodily injury and for property damage, providing coverage for any accident arising out of or resulting from the operation, maintenance, or use by the Contractor of any owned, non-owned, or hired automobiles, trailers, or other equipment required to be licensed.
- B. The District and the District's officers, directors, agents, and employees shall be named as additional insureds on all policies above, except for Workers' Compensation Insurance coverage. Such insurance shall be considered primary and non-contributory with respect to the additional insureds, and all required insurance policies shall be endorsed to provide for a waiver

of underwriter's rights of subrogation in favor of the additional insureds. The Contractor shall furnish the District with the Certificate of Insurance evidencing compliance with this requirement. No certificate shall be acceptable to the District, unless it provides that any change or termination within the policy periods of the insurance coverages, as certified, shall not be effective within thirty (30) days of prior written notice to the District. Insurance coverage shall be from a reputable insurance carrier, licensed to conduct business in the State of Florida.

SECTION 6. CARE OF PROPERTY; SOVEREIGN IMMUNITY.

- A.** Contractor shall use all due care to protect the property of the District, its residents and landowners from damage. Contractor shall be solely responsible for any damage to property, including vehicles, caused by the towing/removal and/or storage activities contemplated herein. Accordingly, Contractor, its employees, agents and subcontractors shall defend, hold harmless and indemnify the District and its supervisors, employees, officers, staff, representatives and agents against any claims, damages, liabilities, losses and costs, including, but not limited to, reasonable attorneys' fees, to the extent caused by the acts or omissions of Contractor, and other persons employed or utilized by Contractor in the performance of this Agreement or the Services performed hereunder.
- B.** Obligations under this section shall include the payment of all settlements, judgments, damages, liquidated damages, penalties, forfeitures, back pay awards, court costs, arbitration and/or mediation costs, litigation expenses, attorney fees, paralegal fees and expert witness fees (incurred in court, out of court, on appeal, or in bankruptcy proceedings) as ordered.
- C.** Nothing in this Agreement shall be deemed as a waiver of the District's sovereign immunity or the District's limits of liability as set forth in Section 768.28, *Florida Statutes* or other law, and nothing in this Agreement shall inure to the benefit of any third party for the purpose of allowing any claim which would otherwise be barred under such limitations of liability or by operation of law.

SECTION 7. RECOVERY OF COSTS AND FEES. In the event the District is required to enforce this Agreement by court proceedings or otherwise, the District shall be entitled to recover from Contractor all fees and costs incurred, including reasonable attorneys' fees, paralegal fees, expert witness fees and costs.

SECTION 8. DEFAULT. A default by either party under this Agreement shall entitle the other party to all remedies available at law or in equity, which includes, but is not limited to, the rights of damages, injunctive relief, and specific performance.

SECTION 9. AMENDMENT. Amendments to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing which is executed by both of the parties hereto.

SECTION 10. ASSIGNMENT. Neither the District nor Contractor may assign their rights, duties or obligations under this Agreement without the prior written approval of the other. Any purported assignment without said written authorization shall be void.

SECTION 11. NOTICES. All notices, requests, consents, and other communications hereunder (each a "Notice") shall be in writing and shall be delivered, mailed by overnight courier or First Class Mail, postage prepaid, to the parties as follows:

A. If to the District: **North Powerline Road Community Development District**
c/o Governmental Management Services – Central Florida, LLC
219 East Livingston Street
Orlando, Florida 32801
Attn: District Manager

With a copy to: **Kilinski | Van Wyk PLLC**
517 E. College Avenue
Tallahassee, Florida 32301
Attn: North Powerline Road CDD, District Counsel

B. If to Contractor: **Bolton’s Towing Services, Inc.**
2690 Avenue E, SW
Winter Haven, Florida 33880
Attn: _____

Except as otherwise provided in this Agreement, any Notice shall be deemed received only upon actual delivery at the address set forth above. Notices delivered after 5:00 p.m. (at the place of delivery) or on a non-business day, shall be deemed received on the next business day. If any time for giving Notice contained in this Agreement would otherwise expire on a non-business day, the Notice period shall be extended to the next succeeding business day. Saturdays, Sundays, and legal holidays recognized by the United States government shall not be regarded as business days. Counsel for the District and counsel for Contractor may deliver Notice on behalf of the District and Contractor. Any party or other person to whom Notices are to be sent or copied may notify the other parties and addressees of any change in name or address to which Notices shall be sent by providing the same on five (5) days’ written notice to the parties and addressees set forth herein.

SECTION 12. PUBLIC RECORDS. Contractor understands and agrees that all documents of any kind provided to the District in connection with this Agreement may be public records, and, accordingly, Contractor agrees to comply with all applicable provisions of Florida law in handling such records, including but not limited to Section 119.0701, *Florida Statutes*. Contractor acknowledges that the designated public records custodian for the District is **Governmental Management Services – Central Florida, LLC** (“Public Records Custodian”). Among other requirements and to the extent applicable by law, Contractor shall 1) keep and maintain public records required by the District to perform the service; 2) upon request by the Public Records Custodian, provide the District with the requested public records or allow the records to be inspected or copied within a reasonable time period at a cost that does not exceed the cost provided in Chapter 119, Florida Statutes; 3) ensure that public records which are exempt or confidential, and exempt from public records disclosure requirements, are not disclosed except as authorized by law for the duration of the contract term and following the contract term if Contractor does not transfer the records to the Public Records Custodian of the District; and 4) upon completion of the contract, transfer to the District, at no cost, all public records in Contractor’s possession or, alternatively, keep, maintain and meet all applicable requirements for retaining public records pursuant to Florida laws. When such public records are transferred by Contractor, Contractor shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. All records stored electronically must be provided to the District in a format that is compatible with Microsoft Word or Adobe PDF formats.

IF CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (407) 841-5524, RECORDREQUEST@GMSCFL.COM, OR 219 EAST LIVINGSTON STREET, ORLANDO, FLORIDA 32801.

SECTION 13. CONTROLLING LAW AND VENUE. This Agreement and the provisions contained herein shall be construed, interpreted, and controlled according to the laws of the State of Florida. The parties agree that venue for any action arising hereunder shall be in a court of appropriate jurisdiction in Polk County, Florida.

SECTION 14. E-VERIFY. Contractor shall comply with and perform all applicable provisions of Section 448.095, *Florida Statutes*. Accordingly, as a condition precedent to entering into this Agreement, Contractor shall register with and use the United States Department of Homeland Security's E-Verify system to verify the work authorization status of all newly hired employees. The District may terminate this Agreement immediately for cause if there is a good faith belief that the Contractor has knowingly violated Section 448.09(1), *Florida Statutes*. If the Contractor anticipates entering into agreements with a subcontractor for the Services, Contractor will not enter into the subcontractor agreement without first receiving an affidavit from the subcontractor regarding compliance with Section 448.095, *Florida Statutes*, and stating that the subcontractor does not employ, contract with, or subcontract with an unauthorized alien. Contractor shall maintain a copy of such affidavit for the duration of the agreement and provide a copy to the District upon request. In the event that the District has a good faith belief that a subcontractor has knowingly violated Section 448.095, *Florida Statutes*, but the Contractor has otherwise complied with its obligations hereunder, the District shall promptly notify the Contractor. Contractor agrees to immediately terminate the agreement with the subcontractor upon notice from the District. Further, absent such notification from the District, the Contractor, or any subcontractor who has a good faith belief that a person or entity with which it is contracting has knowingly violated Section 448.09(1), *Florida Statutes*, shall promptly terminate its agreement with such person or entity. By entering into this Agreement, Contractor represents that no public employer has terminated a contract with the Contractor under Section 448.095(5)(c), *Florida Statutes*, within the year immediately preceding the date of this Agreement.

SECTION 15. FOREIGN INFLUENCE. Contractor understands that under Section 286.101, *Florida Statutes*, that Contractor must disclose any current or prior interest, any contract with, or any grant or gift from a foreign country of concern as that term is defined within the above referenced statute.

SECTION 16. SCRUTINIZED COMPANIES. In accordance with Section 287.135, *Florida Statutes*, Contractor represents that in entering into this Agreement, neither it nor any of its officers, directors, executives, partners, shareholders, members, or agents is on the Scrutinized Companies with Activities in Sudan List, the Scrutinized Companies with Activities in the Iran Terrorism Sectors List, or the Scrutinized Companies that Boycott Israel List created pursuant to Sections 215.4725 and 215.473, *Florida Statutes*, and in the event such status changes, Contractor shall immediately notify the District. If Contractor is found to have submitted a false statement, has been placed on the Scrutinized Companies with Activities in Sudan List, the Scrutinized Companies with Activities in the Iran Terrorism Sectors List, or has been engaged in business operations in Cuba or Syria, or is now or in the future on the Scrutinized Companies that Boycott Israel List, or engaged in a boycott of Israel, the District may immediately terminate this Agreement.

SECTION 17. PUBLIC ENTITY CRIMES. Contractor represents that in entering into this Agreement, Contractor has not been placed on the convicted vendor list as described in Section 287.133(3)(a), *Florida Statutes*, within the last thirty-six (36) months and, if Contractor is placed on the convicted vendor list, Contractor shall immediately notify the District whereupon this Agreement may be terminated by the District.

SECTION 18. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Agreement shall not affect the validity or enforceability of the remaining portions of this Agreement, or any part of this Agreement not held to be invalid or unenforceable.

SECTION 19. INDEPENDENT CONTRACTOR. It is understood and agreed that at all times the relationship of the Contractor and its employees, agents, subcontractors or anyone directly or indirectly employed by the Contractor to the District is the relationship of an independent contractor and not that of an employee, agent, joint venturer or partner of the District. Nothing in this Agreement shall be interpreted or construed as creating or establishing the relationship of employer and employee between the District and the Contractor or any of its employees, agents, subcontractors or anyone directly or indirectly employed by the Contractor. The parties acknowledge that the Contractor is not an employee for state or federal tax purposes. The Contractor shall hire and pay all of the Contractor's employees, agents, subcontractors or anyone directly or indirectly employed by the Contractor, all of whom shall be employees of the Contractor and not employees of the District and at all times entirely under the Contractor's supervision, direction, and control. Contractor shall not have any authority to assume or create any obligation, express or implied, on behalf of the District, and Contractor shall have no authority to represent the District as an agent, employee, or in any other capacity, unless otherwise set forth in this Agreement.

SECTION 20. NO THIRD-PARTY BENEFICIARIES. This Agreement is solely for the benefit of the formal parties hereto and no right or cause of action shall accrue upon or by reason hereof, to or for the benefit of any third party not a formal party hereto. Nothing in this Agreement expressed or implied is intended or shall be construed to confer upon any person or corporation other than the parties hereto any right, remedy or claim under or by reason of this Agreement or any provisions or conditions hereof; and all of the provisions, representations, covenants and conditions herein contained shall inure to the sole benefit of and shall be binding upon the parties hereto and their respective representatives, successors and assigns.

SECTION 21. HEADINGS FOR CONVENIENCE ONLY. The descriptive headings in this Agreement are for convenience only and shall not control nor affect the meaning or construction of any of the provisions of this Agreement.

SECTION 22. ANTI-HUMAN TRAFFICKING AFFIDAVIT. Contractor certifies, by acceptance of this Agreement, that neither it nor its principals utilize coercion for labor or services as defined in Section 787.06, *Florida Statutes*. Contractor agrees to execute an affidavit in compliance with Section 787.06(13), *Florida Statutes*, and acknowledges that if Contractor refuses to sign said affidavit, the District may terminate this Agreement immediately.

SECTION 23. ENTIRE AGREEMENT. This instrument shall constitute the final and complete expression of the agreement between the parties relating to the subject matter of this Agreement.

[Signature page follows]

[Signature page to Agreement for Towing Services]

IN WITNESS WHEREOF, the parties execute this Agreement effective as of the day and year first written above.

**NORTH POWERLINE ROAD
COMMUNITY DEVELOPMENT DISTRICT**

Chairperson, Board of Supervisors

BOLTON'S TOWING SERVICES, INC.,
a Florida corporation

By: _____
Its: _____

Exhibit A: Parking Rules

EXHIBIT A
Parking Rules

[See following pages]

SECTION V

RESOLUTION 2026-06

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT DIRECTING THE CHAIRPERSON AND DISTRICT STAFF TO FILE A PETITION WITH THE POLK COUNTY BOARD OF COUNTY COMMISSIONERS REQUESTING THE ADOPTION OF AN ORDINANCE AMENDING THE DISTRICT'S BOUNDARIES, AND AUTHORIZING SUCH OTHER ACTIONS AS ARE NECESSARY IN FURTHERANCE OF THE BOUNDARY AMENDMENT PROCESS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, North Powerline Road Community Development District ("**District**"), is a local unit of special-purpose government created and existing pursuant to Chapter 190, Florida Statutes ("**Act**"), as established by Ordinance No. 18-036 enacted by the Board of County Commissioners of Polk County, Florida (the "**County**"), on June 5, 2018, as amended by Ordinance Nos. 20-028, 20-046, 22-001, 22-030, and 2023-055, enacted by the County on June 16, 2020, December 2, 2020, January 4, 2022, May 3, 2022, and September 5, 2023 (together, the "**Ordinance**"), and being situated within Polk County, Florida; and

WHEREAS, pursuant to the Act, the District is authorized to construct, acquire, operate and maintain infrastructure improvements and services; and

WHEREAS, the District presently consists of approximately 446.852 acres of land, more or less, as more fully described in the Ordinance; and

WHEREAS, the primary developer of the lands within the District ("**Developer**"), has approached the District and requested the District petition to amend its boundaries to remove land from within the District's boundaries, as more particularly described in the attached **Exhibit A** (the "**Contraction Parcels**"); and

WHEREAS, the proposed boundary amendment is in the best interests of the District and the area of land within the proposed amended boundaries of the District will continue to be of sufficient size, sufficiently compact, and sufficiently contiguous to be developable as one functionally related community; and

WHEREAS, for the area of land that will lie in the amended boundaries of the District, the District continues to be the best alternative available for delivering community development services and facilities; and

WHEREAS, removal of the Contraction Parcels in **Exhibit A** from the District is not inconsistent with either the State or local comprehensive plans; and

WHEREAS, the area of land that will lie in the amended boundaries of the District continues to be amenable to separate special district government; and

WHEREAS, in order to seek a boundary amendment pursuant to Chapter 190, *Florida Statutes*, the District desires to authorize District staff, including but not limited to legal, engineering, and managerial staff, to provide such services as are necessary throughout the pendency of the boundary amendment process; and

WHEREAS, the retention of any necessary consultants and the work to be performed by District staff may require the expenditure of certain fees, costs, and other expenses by the District as authorized by the District’s Board of Supervisors (“**Board**”); and

WHEREAS, the District desires to petition to amend its boundaries in accordance with the procedures and processes described in Chapter 190, *Florida Statutes*, which processes include the preparation of a petition to the County, and such other actions as are necessary in furtherance of the boundary amendment process.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The recitals stated above are true and correct and by this reference are incorporated into and form a material part of this Resolution.

SECTION 2. The Board hereby directs the Chairperson and District staff to proceed in an expeditious manner with the preparation and filing of a petition and related materials with the County, to seek the amendment of the District’s boundaries to remove the lands depicted in **Exhibit A**, pursuant to Chapter 190, *Florida Statutes*, and authorizes the prosecution of the procedural requirements detailed in Chapter 190, *Florida Statutes*, for the amendment of the District’s boundaries.

SECTION 3. The Board hereby authorizes the District Chairperson, District Manager and District Counsel to act as agents of the District with regard to any and all matters pertaining to the petition to the County to amend the boundaries of the District.

SECTION 4. This Resolution shall become effective upon its passage.

{Signature Page Follows}

PASSED AND ADOPTED this 25th day of March 2025.

ATTEST:

**NORTH POWERLINE ROAD
COMMUNITY DEVELOPMENT
DISTRICT**

Secretary/Assistant Secretary

Chairperson, Board of Supervisors

Exhibit A: Description of Contraction Parcels

Exhibit A:
Description of Contraction Parcels

Parcel ID
272703-713500-020070
272702-713000-040310
272702-713000-040170
272703-713500-020030
272702-713000-040210
272702-713000-040230
272702-713000-040251
272702-713000-040260
272702-713000-040190

SECTION VI

**BOUNDARY AMENDMENT FUNDING AGREEMENT BY AND AMONG
NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT
AND GLK REAL ESTATE LLC**

THIS AGREEMENT (the “**Agreement**”) is made and entered into this 25th day of March 2026, by and between:

NORTH POWERLINE ROAD COMMUNITY DEVELOPMENT DISTRICT, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, located within Polk, Florida, with a mailing address of c/o Governmental Management Services-Central Florida, 219 East Livingston Street, Orlando, Florida 32801 (the “**District**”), and

GLK REAL ESTATE LLC, a Florida limited liability company, and the owner and developer of certain lands within the District, with a mailing address of 346 East Central Avenue, Winter Haven, Florida 33880 (the “**Developer**”), and

RECITALS

WHEREAS, the District is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes* (“**Act**”), as established by Ordinance No. 18-036 enacted by the Board of County Commissioners of Polk County, Florida (“**County**”), on June 5, 2018, as amended by Ordinance Nos. 20-028, 20-046, 22-001, 22-030, and 2023-055, enacted by the County on June 16, 2020, December 2, 2020, January 4, 2022, May 3, 2022, and September 5, 2023 (together, the “**Ordinance**”), and being situated within Polk County, Florida; and

WHEREAS, pursuant to the Act, the District is authorized to construct, acquire, and maintain infrastructure improvements and services within and without the boundaries of the District; and

WHEREAS, the District presently consists of approximately 446.852 acres of land, more or less, as more fully described in the Ordinance; and

WHEREAS, Developer has approached the District and requested the District petition to amend its boundaries to contract land from the District; and

WHEREAS, the amendment proposed by Developer is within the amendment size restrictions contained within section 190.046(1), *Florida Statutes*; and

WHEREAS, the District agrees to petition to amend its boundary in accordance with the procedures and processes described in Chapter 190, *Florida Statutes*, which processes include the preparation of a petition to the County and such other actions as are necessary in furtherance of the boundary amendment process; and

WHEREAS, in order to seek a boundary amendment pursuant to Chapter 190, *Florida Statutes*, the District desires to authorize District staff, including but not limited to legal, engineering, and managerial staff, to provide such services as are necessary throughout the boundary amendment process; and

WHEREAS, any such work shall only be performed in accord with the authorizations of the District's Board of Supervisors (the "**Board**"); and

WHEREAS, the retention of any necessary consultants and the work to be performed by District staff may require the expenditure of certain fees, costs, and other expenses by the District as authorized by the Board; and

WHEREAS, Developer desires to provide sufficient funds to the District to reimburse the District for any such expenditures including but not limited to legal, engineering, and other consultant fees, filing fees, administrative, and other expenses, if any.

NOW, THEREFORE, based upon good and valuable consideration and mutual covenants of the parties, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

SECTION 1. PROVISION OF FUNDS. Developer agrees to make available to the District such monies as are necessary to enable the District to proceed with the boundary amendment and to provide such monies as are necessary to enable District staff, including legal, engineering, and managerial staff, to assist in the boundary amendment process and proceedings. Developer will make such funds available monthly, within thirty (30) days of a written request by the District. The funds shall be placed in the District's depository as determined by the District.

SECTION 2. DISTRICT USE OF FUNDS. The District agrees to use such funds solely for the fees, costs, and other expenditures accruing or accrued for seeking an amendment to the boundaries of the District in accord with Chapter 190, *Florida Statutes*. The District agrees to use good faith best efforts to proceed in an expeditious manner with the preparation and filing of the petition and related materials to seek the amendment of the District's boundary pursuant to Chapter 190, *Florida Statutes*, and with the prosecution of the procedural requirements detailed in Chapter 190, *Florida Statutes*, for the amendment of the District's boundary. The District also agrees to make monthly requests for necessary funds from Developer for reimbursement for services of the boundary amendment team, as described in Section 1 of this Agreement. The District shall not reimburse Developer for funds made available to the District under this Agreement.

SECTION 3. DEFAULT. A default by either party under this Agreement shall entitle the other party to all remedies available at law or in equity, which may include, but not be limited to, the right of damages, injunctive relief and/or specific performance.

SECTION 4. ENFORCEMENT OF AGREEMENT. In the event that either party is required to enforce this Agreement by court proceedings or otherwise, then the substantially prevailing

party shall be entitled to recover all fees and costs incurred, including reasonable attorneys' fees and costs for trial, alternative dispute resolution, or appellate proceedings.

SECTION 5. AGREEMENT. This instrument shall constitute the final and complete expression of this Agreement between the parties relating to the subject matter of this Agreement.

SECTION 6. AMENDMENTS. Amendments to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing executed by both parties hereto.

SECTION 7. AUTHORIZATION. The execution of this Agreement has been duly authorized by the appropriate body or official of all parties to this Agreement, each party has complied with all the requirements of law, and each party has full power and authority to comply with the terms and provisions of this instrument.

SECTION 8. NOTICES. All notices, requests, consents and other communications under this Agreement (the "Notices") shall be in writing and shall be delivered via electronic mail to the person so designated in writing by each party or by UPS or overnight mail at the addresses herein designated.

A. If to the District: North Powerline Road Community
Development District
219 East Livingston Street
Orlando, Florida 32801
Attn: District Manager

With a copy to: Kilinski | Van Wyk, PLLC
517 E. College Avenue
Tallahassee, Florida 32301

Attn: District Counsel

B. If to Developer: GLK Real Estate LLC
346 East Central Avenue
Winter Haven, Florida 33880
Attn: Albert B. Cassidy

With a copy to: Straughn & Turner P.A.
255 Magnolia Ave, SW
Winter Haven, Florida 33883
Attn: Richard Straughn

Except as otherwise provided in this Agreement, any Notice shall be deemed received only upon actual delivery at the address set forth in this Agreement. Notices delivered after 5:00 p.m. (at the place of delivery) or on a non-business day, shall be deemed received on the next business day. If any time for giving Notice contained in this Agreement would otherwise expire on a non-

business day, the Notice period shall be extended to the next succeeding business day. Saturdays, Sundays, and legal holidays recognized by the United States government shall not be regarded as business days. Counsel for the parties may deliver Notice on behalf of the parties. Any party or other person to whom Notices are to be sent or copied may notify the other parties and addresses of any change in name or address to which Notices shall be sent by providing the same on five (5) days written notice to the parties and addresses set forth in this Agreement.

SECTION 9. THIRD PARTY BENEFICIARIES. This Agreement is solely for the benefit of the formal parties to this Agreement and no right or cause of action shall accrue upon or by reason hereof, to or for the benefit of any third party not a formal party to this Agreement. Nothing in this Agreement expressed or implied is intended or shall be construed to confer upon any person or corporation other than the parties to this Agreement any right, remedy or claim under or by reason of this Agreement or any provisions or conditions hereof; and all of the provisions, representations, covenants and conditions contained in this Agreement shall inure to the sole benefit of and shall be binding upon the parties to this Agreement and their respective representatives, successors, and assigns.

SECTION 10. ASSIGNMENT. Neither party may assign this Agreement or any monies to become due hereunder without the prior written approval of the other party. Any purported assignment without such prior written approval shall be null and void.

SECTION 11. CONTROLLING LAW. This Agreement and the provisions contained herein shall be construed, interpreted, and controlled according to the laws of the State of Florida. Each party consents to and agrees that the exclusive venue for any litigation arising out of or related to this Agreement shall be in a court of appropriate jurisdiction, in and for Polk County, Florida.

SECTION 12. EFFECTIVE DATE. The Agreement shall be effective after execution by both parties to this Agreement and shall remain in effect unless terminated by either of the parties.

SECTION 13. PUBLIC RECORDS. Developer understands and agrees that all documents of any kind provided to the District in connection with this Agreement may be public records, and, accordingly, Developer agrees to comply with all applicable provisions of Florida law in handling such records, including but not limited to Section 119.0701, *Florida Statutes*. Developer acknowledges that the designated public records custodian for the District is Governmental Management Services – Central Florida, LLC (“**Public Records Custodian**”). Among other requirements and to the extent applicable by law, the Developer shall: (1) keep and maintain public records required by the District to perform the service; (2) upon request by the Public Records Custodian, provide the District with the requested public records or allow the records to be inspected or copied within a reasonable time period at a cost that does not exceed the cost provided in Chapter 119, Florida Statutes; (3) ensure that public records which are exempt or confidential, and exempt from public records disclosure requirements, are not disclosed except as authorized by law for the duration of the contract term and following the contract term if the Developer does not transfer the records to the Public Records Custodian of the District; and (4) upon completion of the contract, transfer to the District, at no cost, all public records in Developer’s possession or, alternatively, keep, maintain and meet all applicable requirements for retaining public records

pursuant to Florida laws. When such public records are transferred by Developer, Developer shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. All records stored electronically must be provided to the District in a format that is compatible with Microsoft Word or Adobe PDF formats.

IF DEVELOPER HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE DEVELOPER'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT 219 EAST LIVINGSTON STREET, ORLANDO, FLORIDA 32801, TELEPHONE: (407) 841-5524, FAX: (407) 839-1526, OR EMAIL: JBURNS@GMSCFL.COM.

SECTION 14. ARM'S LENGTH TRANSACTION. This Agreement has been negotiated fully between the parties as an arm's length transaction. The parties participated fully in the preparation of this Agreement with the assistance of their respective counsel. In the case of a dispute concerning the interpretation of any provision of this Agreement, the parties are each deemed to have drafted, chosen, and selected the language, and doubtful language will not be interpreted or construed against any party.

SECTION 15. SOVEREIGN IMMUNITY. Developer agrees that nothing in this Agreement shall constitute or be construed as a waiver of the District's sovereign immunity or limitations on liability contained in Section 768.28, *Florida Statutes*, or other statutes or law.

SECTION 16. FOREIGN INFLUENCE. Developer understands that under Section 286.101, *Florida Statutes*, that Developer must disclose any current or prior interest, any contract with, or any grant or gift from a foreign country of concern as that term is defined within the above referenced statute.

SECTION 17. HEADINGS FOR CONVENIENCE ONLY. The descriptive headings in this Agreement are for convenience only and shall not control nor affect the meaning or construction of any of the provisions of this Agreement.

SECTION 18. COUNTERPARTS. This Agreement may be executed in any number of counterparts, each of which when executed and delivered shall be an original; however, all such counterparts together shall constitute but one and the same instrument. Signature and acknowledgment pages, if any, may be detached from the counterparts and attached to a single copy of this document to physically form one document.

SECTION 19. HUMAN TRAFFICKING. Developer certifies, by acceptance of this Agreement, that neither it nor its principals utilize coercion for labor or services as defined in Section 787.06, *Florida Statutes*.

IN WITNESS THEREOF, the parties execute this agreement the day and year first written above.

ATTEST:

**NORTH POWERLINE ROAD
COMMUNITY DEVELOPMENT
DISTRICT**

Secretary/Assistant Secretary

Bobbie Shockley as
Chairperson, Board of Supervisors

WITNESS:

GLK REAL ESTATE LLC
a Florida limited liability company

Print Name: _____

Schwenk
Its: Manager

By: Lauren O.

SECTION VII

SECTION C

North Powerline Road CDD

Field Management Report

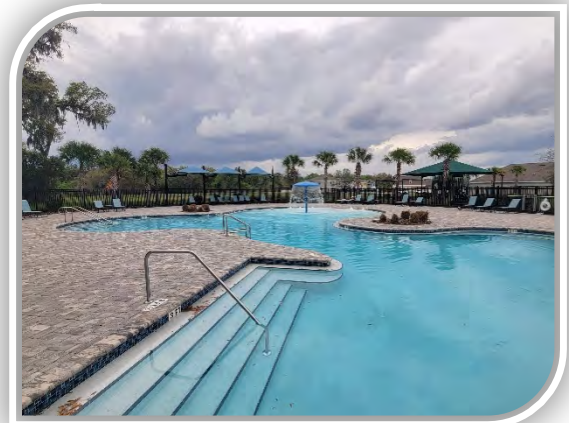
Completed Items

- Some additional trash pickup was done while water levels are low.
- Minor vinyl privacy fence repairs were completed in phase 4.
- Approved Dog stations were installed.
- Pool drinking fountain was serviced.



Contracted Services

- Landscaper is keeping up with the property and beds are neat and detailed. Inventory of freeze-damaged plants has started along with spring pruning.
- No issues noted from pool or janitorial maintenance vendors. Annual oak leaf drop is being managed with existing services.
- Pond levels remain low and algal blooms have been more prevalent. Pond is working to treat them.



In Progress

- Materials have arrived for well uplighting and new benches. Work for both items is being scheduled.
- Pond shoulder repairs and sod needs are under review.
- Bike rack at pool is frequently loaded. Consider an additional rack.



SECTION D

SECTION 1

North Powerline Road Community Development District

Summary of Check Register

February 13, 2026 to March 15, 2026

Bank	Date	Check No.'s	Amount
General Fund			
	2/18/26	1064-1066	\$ 16,987.37
	3/5/26	1067-1071	\$ 5,839.31
	3/12/26	1072-1076	\$ 26,603.21
		Autodrafts	\$ 11,017.76
			\$ 60,447.65
Supervisors - January 2025			
	Alexis J Diaz	50041	\$ 184.70
	Lindsey E Roden	50032	\$ 184.70
	Bobbie J Shockley	50043	\$ 184.70
	Jessica M Spencer	50044	\$ 184.70
			\$ 738.80
Total Amount			\$ 61,186.45

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
2/18/26	00060	1/15/26	1110	202601	330	57200	34500		CAMERA MONITORING-VIDEO	*	140.00		
		1/15/26	1110	202601	330	57200	34500		CAMERA MONITORING-JUL25	*	140.00		
		1/15/26	1110	202601	330	57200	34500		CAMERA MONITORING-AUG25	*	140.00		
		1/15/26	1110	202601	330	57200	34500		CAMERA MONITORING-SEP25	*	140.00		
		1/15/26	1111-A	202512	330	57200	34500		CAMERA MONITORING-DEC25	*	140.00		
		1/15/26	1111-B	202510	330	57200	34500		CAMERA MONITORING-OCT25	*	140.00		
		1/15/26	1111-C	202511	330	57200	34500		CAMERA MONITORING-NOV25	*	140.00		
CURRENT DEMANDS ELECTRICAL												980.00	001064
2/18/26	00006	2/01/26	220	202602	320	53800	34000		FIELD MANAGEMENT-FEB26	*	1,716.67		
		2/01/26	221	202602	310	51300	34000		MANAGEMENT FEES-FEB26	*	3,958.33		
		2/01/26	221	202602	310	51300	35200		WEBSITE MANAGEMENT-FEB26	*	113.58		
		2/01/26	221	202602	310	51300	35100		INFORMATION TEC-FEB26	*	170.33		
		2/01/26	221	202602	310	51300	31300		DISSEMINATION SVCS-FEB26	*	515.00		
		2/01/26	221	202602	330	57200	48300		AMENITY ACCESS-FEB26	*	1,287.50		
		2/01/26	221	202602	310	51300	51000		OFFICE SUPPLIES	*	3.46		
		2/01/26	221	202602	310	51300	42000		POSTAGE	*	23.78		
GOVERNMENTAL MANAGEMENT SERVICES-CF												7,788.65	001065
2/18/26	00044	2/16/26	02162026	202602	300	20700	10200		DEBT SVC TXFER S2020	*	4,701.29		
		2/16/26	02162026	202602	300	20700	10200		DEBT SVC TXFER S2022	*	3,517.43		
NORTH POWERLINE ROAD CDD CO USBANK												8,218.72	001066
3/05/26	00064	2/28/26	00075974	202602	310	51300	48000		NOT OF MTG RULE DEV 02/18	*	244.29		
		2/28/26	00075974	202602	310	51300	48000		NOT OF RULE MAKING 02/25	*	483.79		
GANNETT FLORIDA LOCALIQ												728.08	001067
NPRC NORTH POWER LI BOH													

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT ACCT#	SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
3/05/26	00032	2/18/26	14231	202601	310-51300	31500	ATTORNEY SVCS-JAN26 KILINSKI VAN WYK PLLC	*	1,286.23	1,286.23	001068
3/05/26	00053	2/11/26	69343341	202602	330-57200	48100	PEST CONTROL-FEB26 MASSEY SERVICES INC.	*	40.00	40.00	001069
3/05/26	00050	2/01/26	30539	202602	330-57200	48500	POOL MAINTENANCE-FEB26 MCDONNELL CORPORATION	*	2,830.00	2,830.00	001070
3/05/26	00084	3/01/26	4197948	202603	320-53800	47000	LAKE MAINTENANCE-MAR26 TIGRIS AQUATIC SERVICES LLC	*	955.00	955.00	001071
3/12/26	00006	3/01/26	223	202603	320-53800	34000	FIELD MANAGEMENT-MAR26	*	1,716.67		
		3/01/26	224	202603	310-51300	34000	MANAGEMENT FEES-MAR26	*	3,958.33		
		3/01/26	224	202603	310-51300	35200	WEBSITE MANAGEMENT-MAR26	*	113.58		
		3/01/26	224	202603	310-51300	35100	INFORMATION TECH-MAR26	*	170.33		
		3/01/26	224	202603	310-51300	31300	DISSEMINATION SVCS-MAR26	*	515.00		
		3/01/26	224	202603	330-57200	48300	AMENITY ACCESS-MAR26	*	1,287.50		
		3/01/26	224	202603	310-51300	51000	OFFICE SUPPLIES	*	2.86		
		3/01/26	224	202603	310-51300	42000	POSTAGE	*	28.12		
							GOVERNMENTAL MANAGEMENT SERVICES-CF			7,792.39	001072
3/12/26	00066	3/12/26	03122026	202603	300-15500	10000	DR PLAYGRND LEASE-APR26 HEIDI BONNETT	*	3,048.12	3,048.12	001073
3/12/26	00053	3/06/26	69847838	202603	330-57200	48100	PEST CONTROL-MAR26 MASSEY SERVICES INC.	*	40.00	40.00	001074
3/12/26	00034	3/01/26	22514	202603	320-53800	46200	LANDSCAPE MAINT-DR/HC-MAR PRINCE & SONS INC.	*	13,332.00	13,332.00	001075

NPRC NORTH POWER LI BOH

CHECK DATE	VEND#INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNTCHECK..... AMOUNT #
3/12/26	00054	3/12/26 03122026	202603 300-15500-10000	PLAYGRND/FUR LEASE-APR26 WHFS LLC	*	2,390.70	2,390.70 001076
TOTAL FOR BANK A						49,429.89	

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
2/17/26	00024	2/16/26	0934-02. 00 N BLVD LITE PH3-FEB.26	202602	320	53800	43100		DUKE ENERGY PAYMENT PROCESSING	*	1,609.27	1,609.27	080061
3/10/26	00024	2/20/26	3828-02. 0000 US HWY 17 92-FEB.26	202602	320	53800	43100		DUKE ENERGY PAYMENT PROCESSING	*	3,113.77	3,113.77	080062
3/10/26	00024	2/23/26	6906-02. 620 NORTH BLVD-FEB.26	202602	320	53800	43100		DUKE ENERGY PAYMENT PROCESSING	*	5,049.28	5,049.28	080063
3/10/26	00024	2/27/26	9660-02. 2215 DOE RUN DR-FEB.26	202602	320	53800	43000		DUKE ENERGY PAYMENT PROCESSING	*	66.06	66.06	080064
3/10/26	00024	3/02/26	4579-02. 2360 WHITE TAIL ST-FEB.26	202602	320	53800	43000		DUKE ENERGY PAYMENT PROCESSING	*	37.55	37.55	080065
3/10/26	00024	3/09/26	3654-02. 596 JETT LN PUMP-FEB.26	202602	320	53800	43000		DUKE ENERGY PAYMENT PROCESSING	*	75.38	75.38	080066
3/10/26	00024	3/09/26	4001-02. 102 TINY FLOWER RD-FEB.26	202602	320	53800	43000		DUKE ENERGY PAYMENT PROCESSING	*	132.91	132.91	080067
3/10/26	00024	3/09/26	5939-02. 596 JETT AMENITY-FEB.26	202602	330	57200	43000		DUKE ENERGY PAYMENT PROCESSING	*	794.07	794.07	080068
3/10/26	00089	2/25/26	5225-03. 596 JET LANE-MAR.26	202603	330	57200	44000		FRONTIER COMMUNICATIONS	*	139.47	139.47	080069
TOTAL FOR BANK Z											11,017.76		
TOTAL FOR REGISTER											60,447.65		

SECTION 2

North Powerline Road
Community Development District

Unaudited Financial Reporting
February 28, 2026



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North Powerline Road
Community Development District
Combined Balance Sheet
February 28, 2026

	General Fund	Capital Reserve Fund	Debt Service Funds	Capital Project Funds	Total Governmental Funds
Assets:					
Operating Account	\$ 158,167	\$ -	\$ -	\$ -	\$ 158,167
State Board of Administration	\$ 907,766	\$ -	\$ -	\$ -	\$ 907,766
Investments:					
Capital Reserve - Money Market Series 2020	\$ -	\$ 235,717	\$ -	\$ -	\$ 235,717
Reserve	\$ -	\$ -	\$ 355,933	\$ -	\$ 355,933
Revenue	\$ -	\$ -	\$ 825,266	\$ -	\$ 825,266
Prepayment	\$ -	\$ -	\$ 310	\$ -	\$ 310
Series 2022					
Reserve	\$ -	\$ -	\$ 265,234	\$ -	\$ 265,234
Revenue	\$ -	\$ -	\$ 681,809	\$ -	\$ 681,809
Construction - Phase 4	\$ -	\$ -	\$ -	\$ 800	\$ 800
Prepaid Expenses	\$ 6,545	\$ -	\$ -	\$ -	\$ 6,545
Total Assets	\$ 1,072,478	\$ 235,717	\$ 2,128,553	\$ 801	\$ 3,437,548
Liabilities:					
Accounts Payable	\$ 16,122	\$ -	\$ -	\$ -	\$ 16,122
Total Liabilities	\$ 16,122	\$ -	\$ -	\$ 0	\$ 16,122
Fund Balance:					
Nonspendable:					
Prepaid Items	\$ 6,545	\$ -	\$ -	\$ -	\$ 6,545
Restricted for:					
Debt Service - Series 2020	\$ -	\$ -	\$ 1,181,509	\$ -	\$ 1,181,509
Debt Service - Series 2022	\$ -	\$ -	\$ 947,043	\$ -	\$ 947,043
Capital Projects - Series 2022	\$ -	\$ -	\$ -	\$ 801	\$ 801
Assigned for:					
Capital Reserves	\$ -	\$ 235,717	\$ -	\$ -	\$ 235,717
Unassigned	\$ 1,049,810	\$ -	\$ -	\$ -	\$ 1,049,810
Total Fund Balances	\$ 1,056,356	\$ 235,717	\$ 2,128,553	\$ 801	\$ 3,421,426
Total Liabilities & Fund Balance	\$ 1,072,478	\$ 235,717	\$ 2,128,553	\$ 801	\$ 3,437,548

North Powerline Road

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2026

	Adopted	Prorated Budget	Actual	
	Budget	Thru 02/28/26	Thru 02/28/26	Variance
Revenues:				
Assessments - Tax Roll	\$ 898,933	\$ 877,225	\$ 877,225	\$ -
Assessments - Direct Bill	\$ 64,728	\$ 32,363	\$ 32,363	\$ -
Interest	\$ -	\$ -	\$ 7,134	\$ 7,134
Total Revenues	\$ 963,661	\$ 909,588	\$ 916,722	\$ 7,134

Expenditures:

General & Administrative:

Supervisor Fees	\$ 12,000	\$ 5,000	\$ 3,400	\$ 1,600
Employer FICA Expense	\$ 918	\$ 383	\$ 260	\$ 122
Engineering	\$ 15,000	\$ 6,250	\$ 235	\$ 6,015
Attorney	\$ 30,000	\$ 12,500	\$ 6,959	\$ 5,541
Annual Audit	\$ 4,150	\$ -	\$ -	\$ -
Assessment Administration	\$ 8,755	\$ 8,755	\$ 8,755	\$ -
Arbitrage	\$ 1,350	\$ 450	\$ 450	\$ -
Dissemination	\$ 7,180	\$ 2,992	\$ 2,575	\$ 417
Trustee Fees	\$ 13,335	\$ 6,022	\$ 6,022	\$ -
Management Fees	\$ 47,500	\$ 19,792	\$ 19,792	\$ -
Information Technology	\$ 2,044	\$ 852	\$ 852	\$ 0
Website Maintenance	\$ 1,363	\$ 568	\$ 568	\$ (0)
Postage & Delivery	\$ 1,300	\$ 542	\$ 633	\$ (91)
Insurance	\$ 7,626	\$ 7,626	\$ 7,460	\$ 166
Copies	\$ 500	\$ 208	\$ 94	\$ 115
Legal Advertising	\$ 5,000	\$ 2,083	\$ 1,758	\$ 325
Other Current Charges	\$ 1,250	\$ 521	\$ 247	\$ 274
Office Supplies	\$ 250	\$ 104	\$ 14	\$ 91
Dues, Licenses & Subscriptions	\$ 175	\$ 175	\$ 175	\$ -
Total General & Administrative	\$ 159,696	\$ 74,821	\$ 60,247	\$ 14,574

Operations & Maintenance

Field Expenditures

Property Insurance	\$ 24,760	\$ 24,760	\$ 14,941	\$ 9,819
Field Management	\$ 20,600	\$ 8,583	\$ 8,583	\$ -
Landscape Maintenance	\$ 185,000	\$ 77,083	\$ 61,109	\$ 15,975
Landscape Replacement	\$ 30,000	\$ 12,500	\$ 3,500	\$ 9,000
Lake Maintenance	\$ 18,313	\$ 7,630	\$ 4,775	\$ 2,855
Fountain Maintenance	\$ 1,872	\$ 780	\$ -	\$ 780
Streetlights	\$ 165,000	\$ 68,750	\$ 61,031	\$ 7,719
Electric	\$ 9,900	\$ 4,125	\$ 2,042	\$ 2,083
Water & Sewer	\$ 2,640	\$ 1,100	\$ -	\$ 1,100
Sidewalk & Asphalt Maintenance	\$ 2,500	\$ 1,042	\$ -	\$ 1,042
Irrigation Repairs	\$ 7,500	\$ 3,125	\$ 2,312	\$ 813
General Repairs & Maintenance	\$ 20,000	\$ 8,333	\$ 4,505	\$ 3,828
Hog Trap	\$ 5,000	\$ 2,083	\$ -	\$ 2,083
Contingency	\$ 7,500	\$ 7,500	\$ 14,208	\$ (6,708)
Subtotal Field Expenditures	\$ 500,585	\$ 227,395	\$ 177,006	\$ 50,389

North Powerline Road

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2026

	Adopted	Prorated Budget	Actual	
	Budget	Thru 02/28/26	Thru 02/28/26	Variance
Amenity Expenditures				
Amenity - Electric	\$ 15,000	\$ 6,250	\$ 4,350	\$ 1,900
Amenity - Water	\$ 4,400	\$ 1,833	\$ 1,588	\$ 245
Playground Lease	\$ 65,266	\$ 27,194	\$ 27,194	\$ 0
Pool Furniture Repair/Replacement	\$ 8,000	\$ 3,333	\$ -	\$ 3,333
Internet	\$ 1,625	\$ 677	\$ 717	\$ (40)
Pest Control	\$ 1,120	\$ 467	\$ 200	\$ 267
Janitorial Services	\$ 14,060	\$ 5,858	\$ 5,040	\$ 818
Security Services	\$ 25,000	\$ 10,417	\$ 1,464	\$ 8,953
Pool Maintenance	\$ 33,960	\$ 14,150	\$ 14,070	\$ 80
Amenity Access Management	\$ 15,450	\$ 6,438	\$ 6,438	\$ -
Amenity Repairs & Maintenance	\$ 12,500	\$ 5,208	\$ 4,177	\$ 1,031
Holiday Decorations	\$ 15,500	\$ 15,500	\$ 15,300	\$ 200
Contingency	\$ 7,500	\$ 3,125	\$ -	\$ 3,125
Subtotal Amenity Expenditures	\$ 219,381	\$ 100,450	\$ 80,538	\$ 19,912
Total Operations & Maintenance	\$ 719,965	\$ 327,845	\$ 257,544	\$ 70,302
Total Expenditures	\$ 879,661	\$ 402,666	\$ 317,790	\$ 84,876
<i>Other Financing Uses</i>				
Transfer Out - Capital Reserves	\$ 84,000	\$ -	\$ -	\$ -
Total Other Financing Uses	\$ 84,000	\$ -	\$ -	\$ -
Total Expenditures & Other Financing Uses	\$ 963,661	\$ 402,666	\$ 317,790	\$ 84,876
Net Change in Fund Balance	\$ -	\$ -	\$ 598,932	
Fund Balance - Beginning	\$ -	\$ -	\$ 457,424	
Fund Balance - Ending	\$ -	\$ -	\$ 1,056,356	

North Powerline Road
Community Development District
Capital Reserve Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending February 28, 2026

	Adopted Budget	Prorated Budget Thru 02/28/26	Actual Thru 02/28/26	Variance
Revenues				
Interest	\$ 2,973	\$ 2,973	\$ 3,229	\$ 256
Total Revenues	\$ 2,973	\$ 2,973	\$ 3,229	\$ 256
Expenditures:				
Contingency	\$ 1,000	\$ 417	-	\$ 417
Total Expenditures	\$ 1,000	\$ 417	\$ -	\$ 417
Excess (Deficiency) of Revenues over Expenditures	\$ 1,973		\$ 3,229	
Other Financing Sources				
Transfer In - General Fund	\$ 84,000	-	-	-
Total Other Financing Sources	\$ 84,000	\$ -	\$ -	-
Net Change in Fund Balance	\$ 85,973		\$ 3,229	
Fund Balance - Beginning	\$ 220,909		\$ 232,488	
Fund Balance - Ending	\$ 306,882		\$ 235,717	

North Powerline Road

Community Development District

Debt Service Fund Series 2020

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2026

	Adopted Budget	Prorated Budget Thru 02/28/26	Actual Thru 02/28/26	Variance
Revenues:				
Assessments - Tax Roll	\$ 712,525	\$ 695,318	\$ 695,318	\$ -
Interest	\$ 15,600	\$ 6,500	\$ 9,827	\$ 3,327
Total Revenues	\$ 728,125	\$ 701,818	\$ 705,145	\$ 3,327
Expenditures:				
Interest - 11/1	\$ 218,847	\$ 218,847	\$ 218,847	\$ -
Principal - 5/1	\$ 275,000	\$ -	\$ -	\$ -
Interest - 5/1	\$ 218,847	\$ -	\$ -	\$ -
Total Expenditures	\$ 712,694	\$ 218,847	\$ 218,847	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ 15,431		\$ 486,298	
Fund Balance - Beginning	\$ 338,378		\$ 695,211	
Fund Balance - Ending	\$ 353,809		\$ 1,181,509	

North Powerline Road

Community Development District

Debt Service Fund Series 2022

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2026

	Adopted	Prorated Budget	Actual	
	Budget	Thru 02/28/26	Thru 02/28/26	Variance
Revenues:				
Assessments - On Roll	\$ 533,100	\$ 520,226	\$ 520,226	\$ -
Interest	\$ 13,131	\$ 5,471	\$ 8,592	\$ 3,121
Total Revenues	\$ 546,231	\$ 525,697	\$ 528,818	\$ 3,121
Expenditures:				
Interest - 11/1	\$ 204,047	\$ 204,047	\$ 204,047	\$ -
Principal - 5/1	\$ 125,000	\$ -	\$ -	\$ -
Interest - 5/1	\$ 204,047	\$ -	\$ -	\$ -
Total Expenditures	\$ 533,094	\$ 204,047	\$ 204,047	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ 13,137		\$ 324,771	
Net Change in Fund Balance	\$ 13,137		\$ 324,771	
Fund Balance - Beginning	\$ 356,084		\$ 622,272	
Fund Balance - Ending	\$ 369,221		\$ 947,043	

North Powerline Road
Community Development District
Capital Projects Fund Series 2022
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending February 28, 2026

	Adopted Budget	Prorated Budget Thru 02/28/26	Actual Thru 02/28/26	Variance
Revenues				
Interest	\$ -	\$ -	\$ 12	\$ 12
Total Revenues	\$ -	\$ -	\$ 12	\$ 12
Expenditures:				
Capital Outlay - Phase 4	\$ -	\$ -	\$ -	-
Total Expenditures	\$ -	\$ -	\$ -	-
Excess (Deficiency) of Revenues over Expenditures	\$ -	\$ -	\$ 12	
Other Financing Sources/(Uses)				
Transfer In/(Out)	\$ -	\$ -	\$ -	-
Total Other Financing Sources (Uses)	\$ -	\$ -	\$ -	-
Net Change in Fund Balance	\$ -	\$ -	\$ 12	
Fund Balance - Beginning	\$ -	\$ -	\$ 789	
Fund Balance - Ending	\$ -	\$ -	\$ 801	

North Powerline Road
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Revenues:													
Assessments - Tax Roll	\$ -	\$ 21,945	\$ 848,240	\$ 2,710	\$ 4,330	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 877,225
Assessments - Direct Bill	\$ -	\$ 32,363	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 32,363
Interest	\$ 1,158	\$ 594	\$ 502	\$ 1,905	\$ 2,976	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,134
Total Revenues	\$ 1,158	\$ 54,902	\$ 848,741	\$ 4,615	\$ 7,306	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 916,722
Expenditures:													
General & Administrative:													
Supervisor Fees	\$ 1,600	\$ 200	\$ 800	\$ 800	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,400
Employer FICA Expense	\$ 122	\$ 15	\$ 61	\$ 61	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 260
Engineering	\$ 235	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 235
Attorney	\$ 1,935	\$ 3,367	\$ 371	\$ 1,286	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,959
Annual Audit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Assessment Administration	\$ 8,755	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,755
Arbitrage	\$ -	\$ -	\$ -	\$ 450	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450
Dissemination	\$ 515	\$ 515	\$ 515	\$ 515	\$ 515	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,575
Trustee Fees	\$ 2,696	\$ -	\$ -	\$ 3,326	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,022
Management Fees	\$ 3,958	\$ 3,958	\$ 3,958	\$ 3,958	\$ 3,958	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 19,792
Information Technology	\$ 170	\$ 170	\$ 170	\$ 170	\$ 170	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 852
Website Maintenance	\$ 114	\$ 114	\$ 114	\$ 114	\$ 114	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 568
Postage & Delivery	\$ 98	\$ 19	\$ 10	\$ 481	\$ 24	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 633
Insurance	\$ 7,460	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,460
Printing & Binding	\$ -	\$ -	\$ 94	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 94
Legal Advertising	\$ 1,030	\$ -	\$ -	\$ -	\$ 728	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,758
Other Current Charges	\$ 58	\$ 44	\$ 59	\$ 44	\$ 42	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 247
Office Supplies	\$ 3	\$ 3	\$ 3	\$ 1	\$ 3	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 14
Dues, Licenses & Subscriptions	\$ 175	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 175
Total General & Administrative	\$ 28,924	\$ 8,407	\$ 6,155	\$ 11,206	\$ 5,555	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 60,247
Operations & Maintenance													
Field Expenditures													
Property Insurance	\$ 14,941	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 14,941
Field Management	\$ 1,717	\$ 1,717	\$ 1,717	\$ 1,717	\$ 1,717	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,583
Landscape Maintenance	\$ 10,556	\$ 10,556	\$ 13,332	\$ 13,332	\$ 13,332	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 61,109
Landscape Replacement	\$ 3,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,500
Lake Maintenance	\$ 955	\$ 955	\$ 955	\$ 955	\$ 955	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,775
Fountain Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Streetlights	\$ 12,811	\$ 12,811	\$ 12,817	\$ 12,819	\$ 9,772	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 61,031
Electric	\$ 453	\$ 375	\$ 508	\$ 394	\$ 312	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,042
Water & Sewer	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Sidewalk & Asphalt Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Irrigation Repairs	\$ 449	\$ 824	\$ 882	\$ 156	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,312
General Repairs & Maintenance	\$ 3,695	\$ 810	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,505
Hog Trap	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Contingency	\$ 2,126	\$ 2,397	\$ 4,542	\$ 5,143	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 14,208
Subtotal Field Expenditures	\$ 51,204	\$ 30,446	\$ 34,753	\$ 34,516	\$ 26,088	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 177,006

North Powerline Road
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Amenity Expenditures													
Amenity - Electric	\$ 771	\$ 908	\$ 1,116	\$ 762	\$ 794	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,350
Amenity - Water	\$ 320	\$ 431	\$ 381	\$ 456	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,588
Playground Lease	\$ 5,439	\$ 5,439	\$ 5,439	\$ 5,439	\$ 5,439	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 27,194
Internet	\$ 143	\$ 143	\$ 143	\$ 143	\$ 143	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 717
Pest Control	\$ 40	\$ 40	\$ 40	\$ 40	\$ 40	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200
Janitorial Services	\$ 1,000	\$ 1,010	\$ 1,020	\$ 1,000	\$ 1,010	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,040
Security Services	\$ 484	\$ 140	\$ 140	\$ 560	\$ 140	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,464
Pool Maintenance	\$ 2,750	\$ 2,830	\$ 2,830	\$ 2,830	\$ 2,830	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 14,070
Amenity Access Management	\$ 1,288	\$ 1,288	\$ 1,288	\$ 1,288	\$ 1,288	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,438
Amenity Repairs & Maintenance	\$ 895	\$ 2,537	\$ -	\$ -	\$ 745	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,177
Holiday Decorations	\$ -	\$ -	\$ -	\$ 15,300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,300
Contingency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Amenity Expenditures	\$ 13,129	\$ 14,765	\$ 12,397	\$ 27,818	\$ 12,429	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,538
Total Operations & Maintenance	\$ 64,332	\$ 45,211	\$ 47,150	\$ 62,334	\$ 38,517	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 257,544
Total Expenditures	\$ 93,256	\$ 53,617	\$ 53,305	\$ 73,540	\$ 44,071	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 317,790
Other Financing Uses													
Transfer Out	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Other Financing Uses	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Expenditures & Other Financing Uses	\$ 93,256	\$ 53,617	\$ 53,305	\$ 73,540	\$ 44,071	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 317,790
Net Change in Fund Balance	\$ (92,098)	\$ 1,285	\$ 795,436	\$ (68,925)	\$ (36,766)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 598,932

North Powerline Road

Community Development District

Long Term Debt Report

Series 2020, Special Assessment Revenue Bonds		
Maturity Date:	5/1/2051	
Reserve Fund Definition	50% Maximum Annual Debt Service	
Reserve Fund Requirement	\$355,933	
Reserve Fund Balance	\$355,933	
Bonds Outstanding - 12/14/20		\$12,685,000
Less: Principal Payment - 05/01/22		(\$250,000)
Less: Special Call - 05/01/22		(\$20,000)
Less: Special Call - 11/01/22		(\$5,000)
Less: Principal Payment - 05/01/23		(\$255,000)
Less: Principal Payment - 05/01/24		(\$260,000)
Less: Principal Payment - 05/01/25		(\$270,000)
Current Bonds Outstanding		\$11,625,000

Series 2022, Special Assessment Revenue Bonds		
Maturity Date:	5/1/2052	
Reserve Fund Definition	Maximum Annual Debt Service	
Reserve Fund Requirement	\$265,234	
Reserve Fund Balance	\$265,234	
Bonds Outstanding - 06/09/22		\$11,000,000
Less: Principal Payment - 05/01/23		(\$150,000)
Less: Special Call - 08/01/23		(\$1,560,000)
Less: Special Call - 11/01/23		(\$1,605,000)
Less: Principal Payment - 05/01/24		(\$115,000)
Less: Special Call - 08/01/24		(\$110,000)
Less: Principal Payment - 05/01/25		(\$115,000)
Current Bonds Outstanding		\$7,345,000

North Powerline Road CDD
COMMUNITY DEVELOPMENT DISTRICT
Special Assessment Receipts
Fiscal Year 2026

ON ROLL ASSESSMENTS

Gross Assessments \$ 966,594.52 \$ 766,155.52 \$ 573,225.66 \$ 2,305,975.70
 Net Assessments \$ 898,932.90 \$ 712,524.63 \$ 533,099.86 \$ 2,144,557.40

41.92% 33.22% 24.86% 100.00%

Date	Distribution	Gross Amount	Discount/Penalty	Commission	Interest	Property Appraiser	Net Receipts	General Fund	Series 2020 Debt Service	Series 2022 Debt Service	Total
11/10/25	10/20-10/21/25	\$1,750.67	(\$91.92)	(\$33.18)	\$0.00	\$0.00	\$1,625.57	\$681.39	\$540.09	\$404.09	\$1,625.57
11/14/25	10/01-10/31/25	\$4,082.09	(\$163.29)	(\$78.38)	\$0.00	\$0.00	\$3,840.42	\$1,609.79	\$1,275.97	\$954.66	\$3,840.42
11/21/25	11/01-11/07/25	\$23,434.67	(\$937.38)	(\$449.95)	\$0.00	\$0.00	\$22,047.34	\$9,241.57	\$7,325.18	\$5,480.59	\$22,047.34
11/26/25	11/08-11/15/25	\$26,403.38	(\$1,056.11)	(\$506.95)	\$0.00	\$0.00	\$24,840.32	\$10,412.31	\$8,253.14	\$6,174.87	\$24,840.32
12/08/25	11/16-11/25/25	\$87,772.15	(\$3,505.05)	(\$1,685.34)	\$0.00	\$0.00	\$82,581.76	\$34,615.75	\$27,437.61	\$20,528.40	\$82,581.76
12/17/25	INV#4652297	(\$13,393.81)	\$0.00	\$0.00	\$0.00	\$0.00	(\$13,393.81)	(\$5,614.28)	(\$4,450.06)	(\$3,329.47)	(\$13,393.81)
12/17/25	INV#4652298	(\$9,665.95)	\$0.00	\$0.00	\$0.00	\$0.00	(\$9,665.95)	(\$4,051.67)	(\$3,211.49)	(\$2,402.79)	(\$9,665.95)
12/19/25	11/26-11/30/25	\$2,043,412.37	(\$81,735.64)	(\$39,233.53)	\$0.00	\$0.00	\$1,922,443.20	\$805,829.42	\$638,727.66	\$477,886.12	\$1,922,443.20
12/31/25	12/01-12/15/25	\$44,200.26	(\$1,695.56)	(\$850.09)	\$0.00	\$0.00	\$41,654.61	\$17,460.33	\$13,839.66	\$10,354.62	\$41,654.61
01/09/26	12/16-12/31/25	\$5,069.26	(\$2,369.29)	(\$54.00)	\$0.00	\$0.00	\$2,645.97	\$1,109.11	\$879.12	\$657.74	\$2,645.97
01/29/26	10/01-12/31/25	\$0.00	\$0.00	\$0.00	\$3,820.35	\$0.00	\$3,820.35	\$1,601.38	\$1,269.30	\$949.67	\$3,820.35
02/13/26	01/01-01/31/26	\$10,755.49	(\$215.08)	(\$210.81)	\$0.00	\$0.00	\$10,329.60	\$4,329.85	\$3,431.99	\$2,567.76	\$10,329.60
TOTAL		\$ 2,223,820.58	\$ (91,769.32)	\$ (43,102.23)	\$ 3,820.35	\$ -	\$ 2,092,769.38	\$ 877,224.95	\$ 695,318.17	\$ 520,226.26	\$ 2,092,769.38

98%	Net Percent Collected
\$51,788.02	Bal. Remaining to Collect

DIRECT BILL ASSESSMENTS

Cassidy Holdings LLC 2026-01		Net Assessments	\$64,725.81	
Date Received	Due Date	Check Number	Net Assessed	Amount Received - GF
10/31/25	10/1/25	2790, 2791, 2792, 2793, & 2794	\$32,362.90	\$32,362.90
	2/1/26		\$16,181.45	
	5/1/26		\$16,181.45	
			\$ 64,725.80	32,362.90